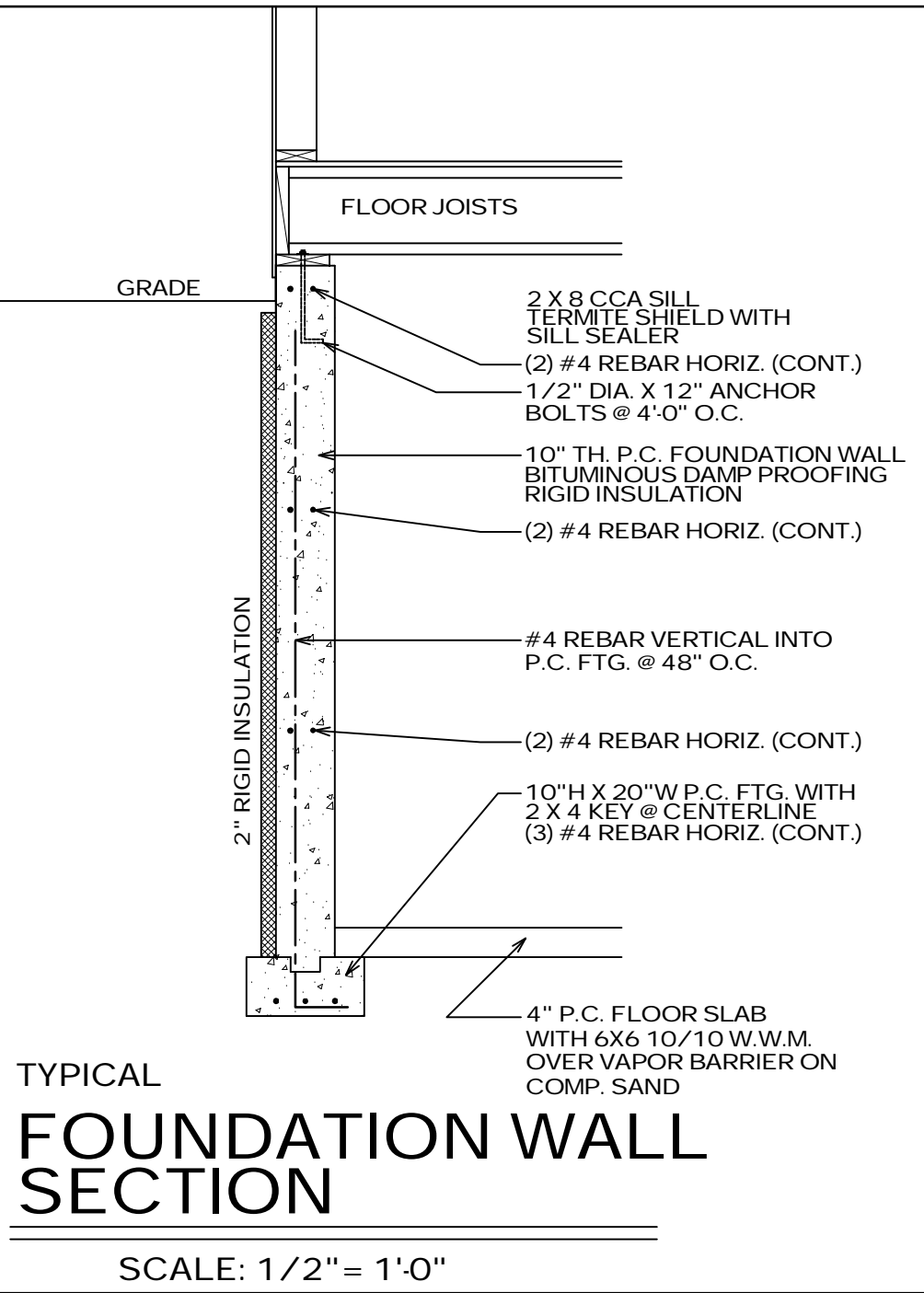


PROPOSED  
BASEMENT PLAN

SCALE: 1/4" = 1'-0"



TYPICAL  
FOUNDATION WALL  
SECTION

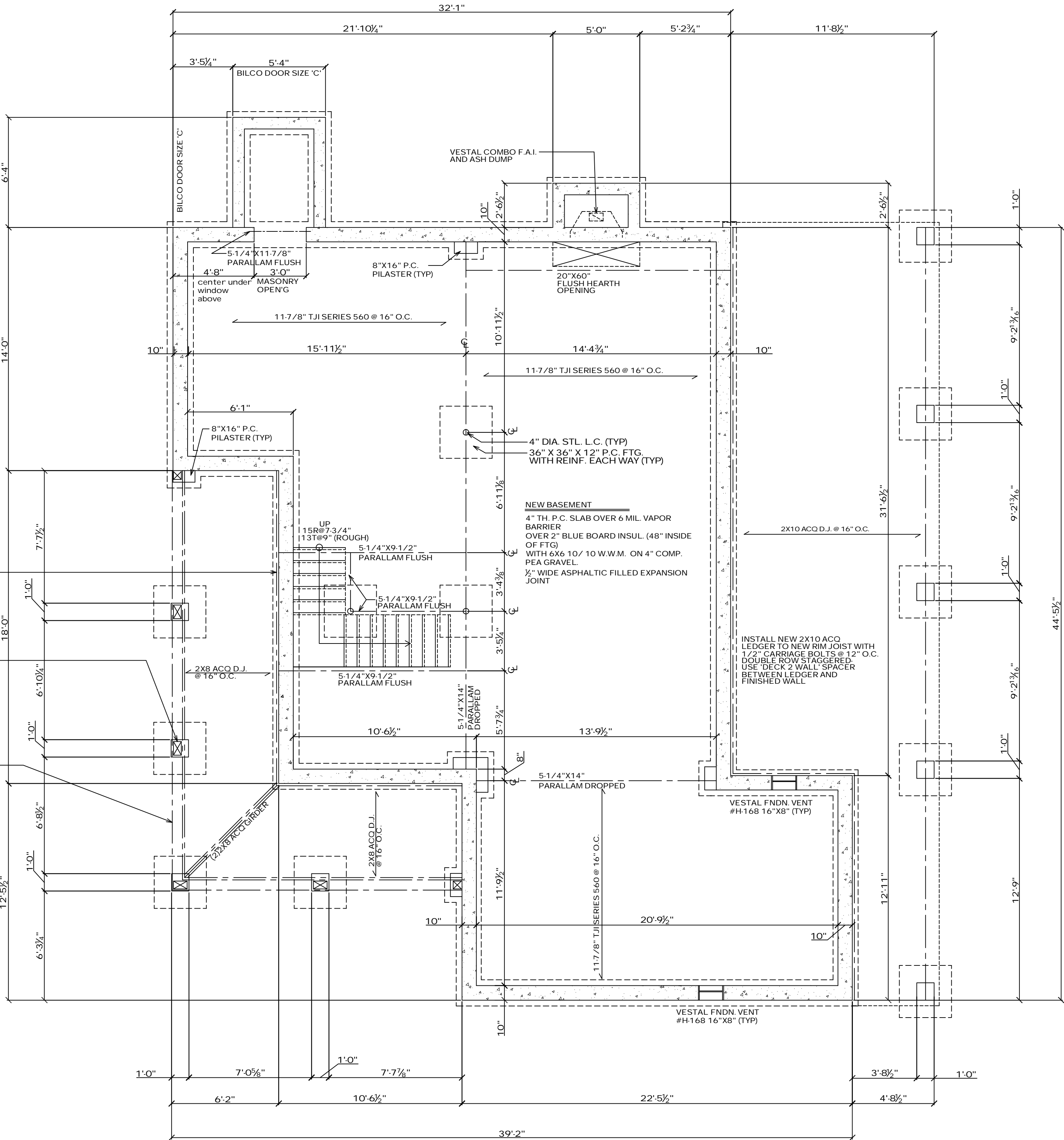
SCALE: 1/2" = 1'-0"

INSTALL NEW 2X10 ACO LEDGER TO NEW RIM JOIST WITH 1/2" CARRIAGE BOLTS @ 12" O.C. DOUBLE ROW STAGGERED. USE DECK 2 WALL SPACER BETWEEN LEDGER AND FINISHED WALL. USE SIMPSON JOIST HANGERS.

LINE OF 6X10 D.F. POST SET POST ONTO P.C. PIER WITH SIMPSON ABU66 STANDOFF POST BASE (TYP). POST TO BE HELD BACK FROM FACE OF PIER 1 1/2" (TYP).

12"X12" SQ. P.C. PIER ON 24"X24"X12" P.C. FTG. WITH REINF. BARS EACH WAY AND (2) #4 BARS FROM FTG. INTO PIER (TYP).

(3)2X8 ACO FLUSH GIRDER ONE ON EXT. SIDE OF POST TWO ON INTERIOR SIDE OF POST (TYP).



PROPOSED  
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTE:  
-ALL DOORS SIZES ARE LABELED IN INCHES (36X80 IS 3'-0" X 6'-8")  
-ALL DIMENSIONS TO ROUGH FRAMING  
SEE SHEET A1.03 FOR FURTHER TYPICAL INFORMATION

NOTE: SEE FRAMING PLANS FROM 'I'LEVEL' SHEET 1 FOR FRAMING DETAILS. JOIST AND HEADER SIZES, 'I'LEVEL' DRAWINGS OVERRIDE ARCHITECTURAL DRAWINGS

LEGEND	
	EXISTING WALLS (TO REMAIN)
	NEW STUD WALL
	EXISTING WALLS (TO BE REMOVED)
	EXISTING MASONRY WALLS (TO REMAIN)
	(3)2X4, 2X6 POST
	4" DIA. STEEL LALLY COLUMN

BRUCE A.T. SISKAA  
ARCHITECT-PLLC  
61N. MAIN STREET  
EAST HAMPTON, NY 11937  
T 631.324.1791  
F 631.324.1695

PROPOSED RESIDENCE  
FOR  
**SHERMAN  
PRAGER**  
62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

NOTES:  
S.C.T.M. NO. 300-187-1-2  
ZONING AREA: 'B' RESIDENCE  
LOT AREA: 22,582.0 SQ.FT.

ALLOWABLE LOT COVERAGE:  
ACTUAL LOT COVERAGE

SOLID BLOCK UNDER ALL BEARING WALL PARTITIONS  
(2)1-3/4"X11-1/2" (MIN) HEADER AT WINDOWS AND DOORS  
TRIPLE 2X4, 2X6 POSTS UNDER ALL HEADERS  
TJI FLOOR JOISTS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

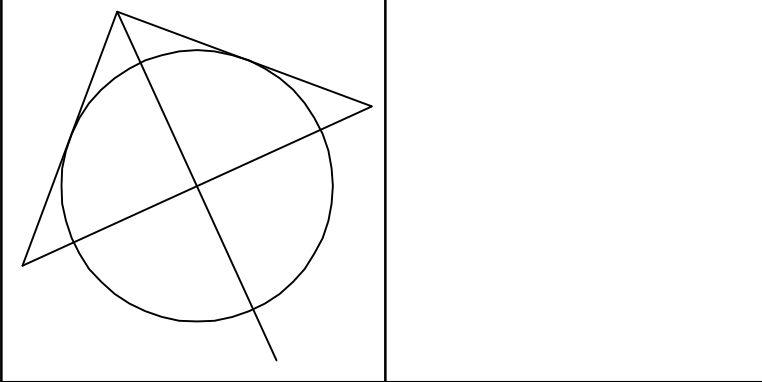
OWNERSHIP AND USE OF DOCUMENTS:  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF BRUCE A.T. SISKAA ARCHITECT PLLC.

©COPYRIGHT 2007, BRUCE A.T. SISKAA ARCHITECT PLLC.  
ALL RIGHTS RESERVED.

ERRORS OR OMISSIONS IN THE DRAWINGS WHICH ARE CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APPURTENANCES SHALL BE CONSIDERED TO BE INCLUDED WORK, ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS. CONTACT ARCHITECT FOR VERIFICATION IF APPROPRIATE.

REVISIONS

NO.	DESCRIPTION
9.1.10	REVISED BACK DECK, REVISE BILCO DOOR
7.26.10	ISSUED FOR BID



PROPOSED  
FOUNDATION  
PLAN

SCALE: 1/8" = 1'-0"	<b>A1.01</b>
DATE: 2 JUNE 2010	
DRAWING BY: BATS	
JOB NO.: 0001	



PROPOSED RESIDENCE  
FOR  
**SHERMAN  
PRAGER**  
62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

NOTES:  
S.C.T.M. NO. 300-187-1-2  
ZONING AREA: 'B' RESIDENCE  
LOT AREA: 22,582.0 SQ.FT.

ALLOWABLE LOT COVERAGE:  
ACTUAL LOT COVERAGE

SOLID BLOCK UNDER ALL BEARING  
WALL PARTITIONS  
(2)1-3/4"X11-1/8" (MIN) HEADER AT  
WINDOWS AND DOORS  
TRIPLE 2X4, 2X6 POSTS UNDER ALL  
HEADERS  
TJI FLOOR JOISTS TO BE INSTALLED IN  
STRICT ACCORDANCE WITH  
MANUFACTURERS SPECIFICATIONS

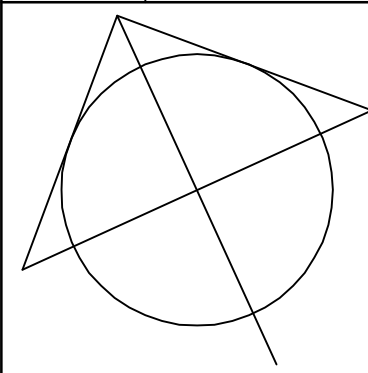
OWNERSHIP AND USE OF DOCUMENTS:  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL  
SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.  
THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY  
OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE  
PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN  
AUTHORIZATION OF BRUCE A.T. SISKAA ARCHITECT PLLC.

©COPYRIGHT 2007, BRUCE A.T. SISKAA ARCHITECT PLLC.  
ALL RIGHTS RESERVED.

ERRORS OR OMISSIONS IN THE DRAWINGS WHICH ARE CLEARLY  
NECESSARY FOR THE COMPLETION OF THE WORK OR ITS  
APPROPRIATENESS SHALL BE CONSIDERED TO BE INCLUDED WORK.  
ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS,  
CONTACT ARCHITECT FOR VERIFICATION IF APPROPRIATE.

REVISIONS

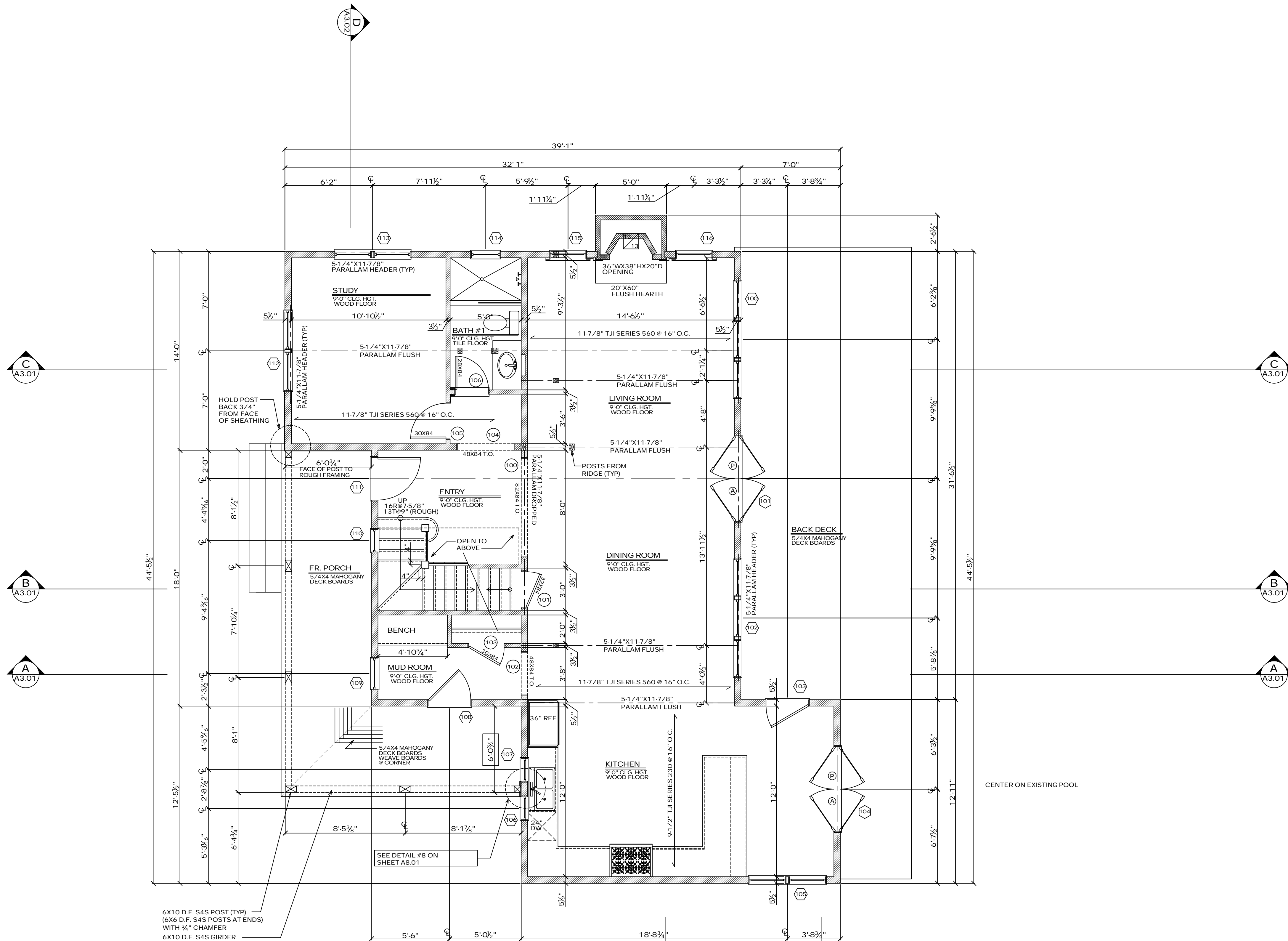
NO.	DESCRIPTION
9.1.10	REVISED BACK DECK, WINDOW #104
7.26.10	ISSUED FOR BID



PROPOSED  
FIRST FLOOR  
PLAN

SCALE:  
1/8" = 1'-0"  
DATE:  
2 JUNE 2010  
DRAWING BY:  
BATS  
JOB NO.:  
0001

A1.02



PROPOSED  
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE:  
-ALL DOORS SIZES ARE LABELED IN  
INCHES (36X80 IS 3'-0" X 6'-8")  
-ALL DIMENSIONS TO ROUGH FRAMING  
-SEE SHEET A1.03 FOR FURTHER TYPICAL  
INFORMATION  
-ALLOW FOR FULL TRIM AT DOOR AND  
WINDOW OPENINGS U.N.O.  
-INSTALL 2X6 STUD AT ALL WINDOW/  
DOOR STUD POCKETS

NOTE: SEE FRAMING PLANS FROM  
'I-LEVEL' SHEET 2 & 3 FOR FRAMING  
DETAILS. JOIST AND HEADER SIZES,  
'I-LEVEL' DRAWINGS OVERRIDE  
ARCHITECTURAL DRAWINGS

SQUARE FOOT CALCULATIONS:	
FIRST FLOOR:	
FIRST FLOOR:	1200.0 SQ.FT.
SECOND FLOOR:	
SECOND FLOOR:	909.0 SQ.FT.
TOTALS:	
1ST & 2ND FLOOR:	2109.0 SQ.FT.

LEGEND	
	EXISTING WALLS (TO REMAIN)
	NEW STUD WALL
	EXISTING WALLS (TO BE REMOVED)
	EXISTING MASONRY WALLS (TO REMAIN)
	(3)2X4, 2X6 POST
	4" DIA STEEL LALLY COLUMN



PROPOSED RESIDENCE  
FOR  
**SHERMAN  
PRAGER**  
62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

SCALE:	1/8" = 1'0"
DATE:	2 JUNE 2010
DRAWING BY:	BATS
JOB NO.:	0001

## A1.03

**NOTE:**

- ALL DOORS SIZES ARE LABELED IN INCHES (36X80 IS 3'-0" X 6'-8")
- ALL DIMENSIONS TO ROUGH FRAMING
- SEE SHEET A1.03 FOR FURTHER TYPICAL INFORMATION
- ALLOW FOR FULL TRIM AT DOOR AND WINDOW OPENINGS U.N.O.
- INSTALL 2X6 STUD AT ALL WINDOW/DOOR STUD POCKETS



PROPOSED RESIDENCE  
FOR  
**SHERMAN  
PRAGER**  
62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

NOTES:  
S.C.T.M. NO. 300-187-1-2  
ZONING AREA: 'B' RESIDENCE  
LOT AREA: 22,582.0 SQ.FT.

ALLOWABLE LOT COVERAGE:  
ACTUAL LOT COVERAGE

SOLID BLOCK UNDER ALL BEARING  
WALL PARTITIONS  
(2)1-3/4"X11-1/2" (MIN) HEADER AT  
WINDOWS AND DOORS  
TRIPLE 2X4, 2X6 POSTS UNDER ALL  
HEADERS  
TJI FLOOR JOISTS TO BE INSTALLED IN  
STRICT ACCORDANCE WITH  
MANUFACTURERS SPECIFICATIONS

OWNERSHIP AND USE OF DOCUMENTS:  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL  
SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.  
THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY  
OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE  
PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN  
AUTHORIZATION OF BRUCE A.T. SISKAA ARCHITECT PLLC.

©COPYRIGHT 2007, BRUCE A.T. SISKAA ARCHITECT PLLC.  
ALL RIGHTS RESERVED.

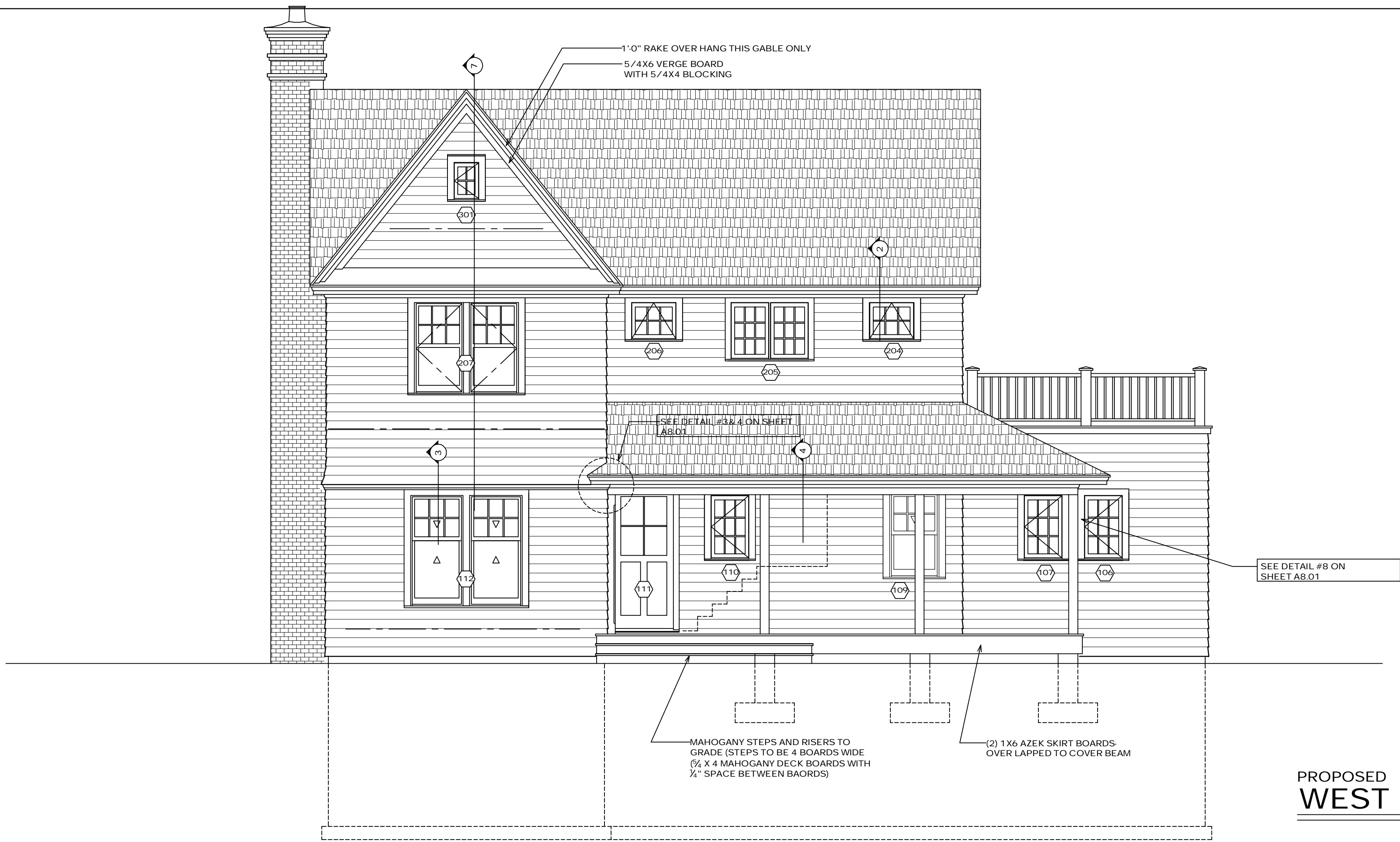
ERRORS OR OMISSIONS IN THE DRAWINGS WHICH ARE CLEARLY  
NECESSARY FOR THE COMPLETION OF THE WORK OR ITS  
APPROPRIATENESS SHALL BE CONSIDERED TO BE INCLUDED WORK.  
CONTACT ARCHITECT FOR VERIFICATION IF APPROPRIATE.

REVISIONS

9.1.10	REVISED BILCO DOOR
7.26.10	ISSUED FOR BID

PROPOSED  
ELEVATIONS

SCALE: 1/4" = 1'-0"	A2.01
DATE: 2 JUNE 2010	
DRAWING BY: BATS	
JOB NO.: 0001	



PROPOSED  
**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



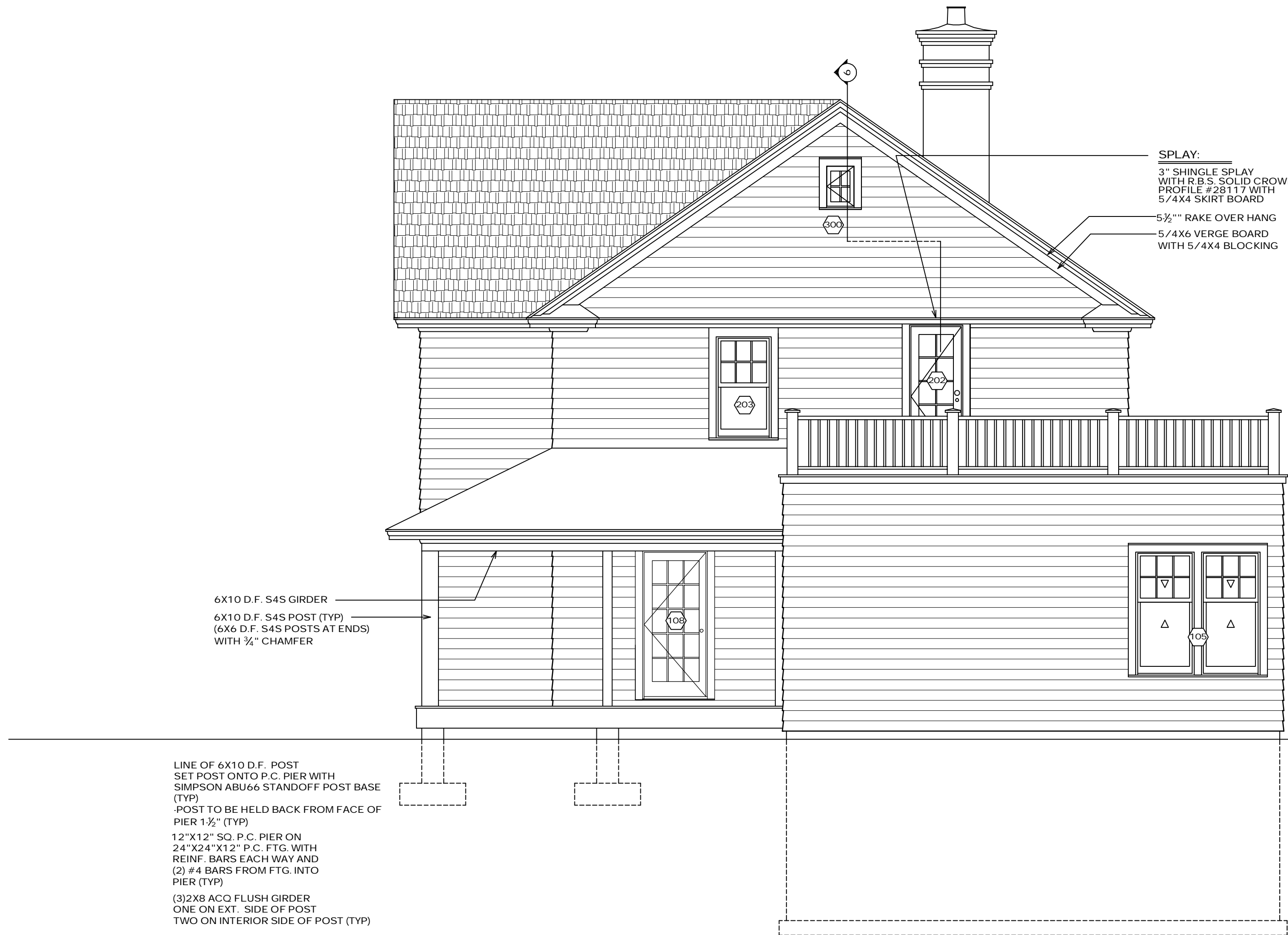
PROPOSED  
**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



PROPOSED  
EAST ELEVATION

SCALE: 1/4" = 1'0"



PROPOSED  
SOUTH ELEVATION

SCALE: 1/4" = 1'0"

BRUCE A.T. SISKAA  
ARCHITECT-PLLC  
61N. MAIN STREET  
EAST HAMPTON, NY 11937  
T 631.324.1791  
F 631.324.1695

PROPOSED RESIDENCE  
FOR  
**SHERMAN  
PRAGER**  
62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

NOTES:  
S.C.T.M. NO. 300-187-1-2  
ZONING AREA: 'B' RESIDENCE  
LOT AREA: 22,582.0 SQ.FT.

ALLOWABLE LOT COVERAGE:  
ACTUAL LOT COVERAGE

SOLID BLOCK UNDER ALL BEARING  
WALL PARTITIONS  
(2)1-3/4"X11-1/8" (MIN) HEADER AT  
WINDOWS AND DOORS  
TRIPLE 2X4, 2X6 POSTS UNDER ALL  
HEADERS  
TJI FLOOR JOISTS TO BE INSTALLED IN  
STRICT ACCORDANCE WITH  
MANUFACTURERS SPECIFICATIONS

OWNERSHIP AND USE OF DOCUMENTS:  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL  
SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.  
THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY  
OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE  
PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN  
AUTHORIZATION OF BRUCE A.T. SISKAA ARCHITECT PLLC.

©COPYRIGHT 2007, BRUCE A.T. SISKAA ARCHITECT PLLC.  
ALL RIGHTS RESERVED.

ERRORS OR OMISSIONS IN THE DRAWINGS WHICH ARE CLEARLY  
NECESSARY FOR THE COMPLETION OF THE WORK OR ITS  
APPROPRIATENESS SHALL BE CONSIDERED TO BE INCLUDED WORK.  
ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS,  
CONTACT ARCHITECT FOR VERIFICATION IF APPROPRIATE.

REVISIONS	
9.1.10	REVISED BACK DECK, WINDOW #104
7.26.10	ISSUED FOR BID

PROPOSED  
ELEVATIONS

SCALE: 1/4" = 1'0"	A2.02
DATE: 2 JUNE 2010	
DRAWING BY: BATS	
JOB NO.: 0001	



PROPOSED RESIDENCE  
FOR  
**SHERMAN  
PRAGER**  
62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

NOTES:  
S.C.T.M. NO. 300-187-1-2  
ZONING AREA: 'B' RESIDENCE  
LOT AREA: 22,582.0 SQ.FT.

ALLOWABLE LOT COVERAGE:  
ACTUAL LOT COVERAGE

SOLID BLOCK UNDER ALL BEARING  
WALL PARTITIONS  
(2)1-3/4"X11-1/2" (MIN) HEADER AT  
WINDOWS AND DOORS  
TRIPLE 2X4, 2X6 POSTS UNDER ALL  
HEADERS  
T-JI FLOOR JOISTS TO BE INSTALLED IN  
STRICT ACCORDANCE WITH  
MANUFACTURERS SPECIFICATIONS

OWNERSHIP AND USE OF DOCUMENTS:  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL  
SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.  
THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY  
OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE  
PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN  
AUTHORIZATION OF BRUCE A.T. SISKAA ARCHITECT PLLC.

©COPYRIGHT 2007, BRUCE A.T. SISKAA ARCHITECT PLLC.  
ALL RIGHTS RESERVED.

ERRORS OR OMISSIONS IN THE DRAWINGS WHICH ARE CLEARLY  
NECESSARY FOR THE COMPLETION OF THE WORK OR ITS  
APPROPRIATENESS SHALL BE CONSIDERED TO BE INCLUDED WORK,  
ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.  
CONTACT ARCHITECT FOR VERIFICATION IF APPROPRIATE.

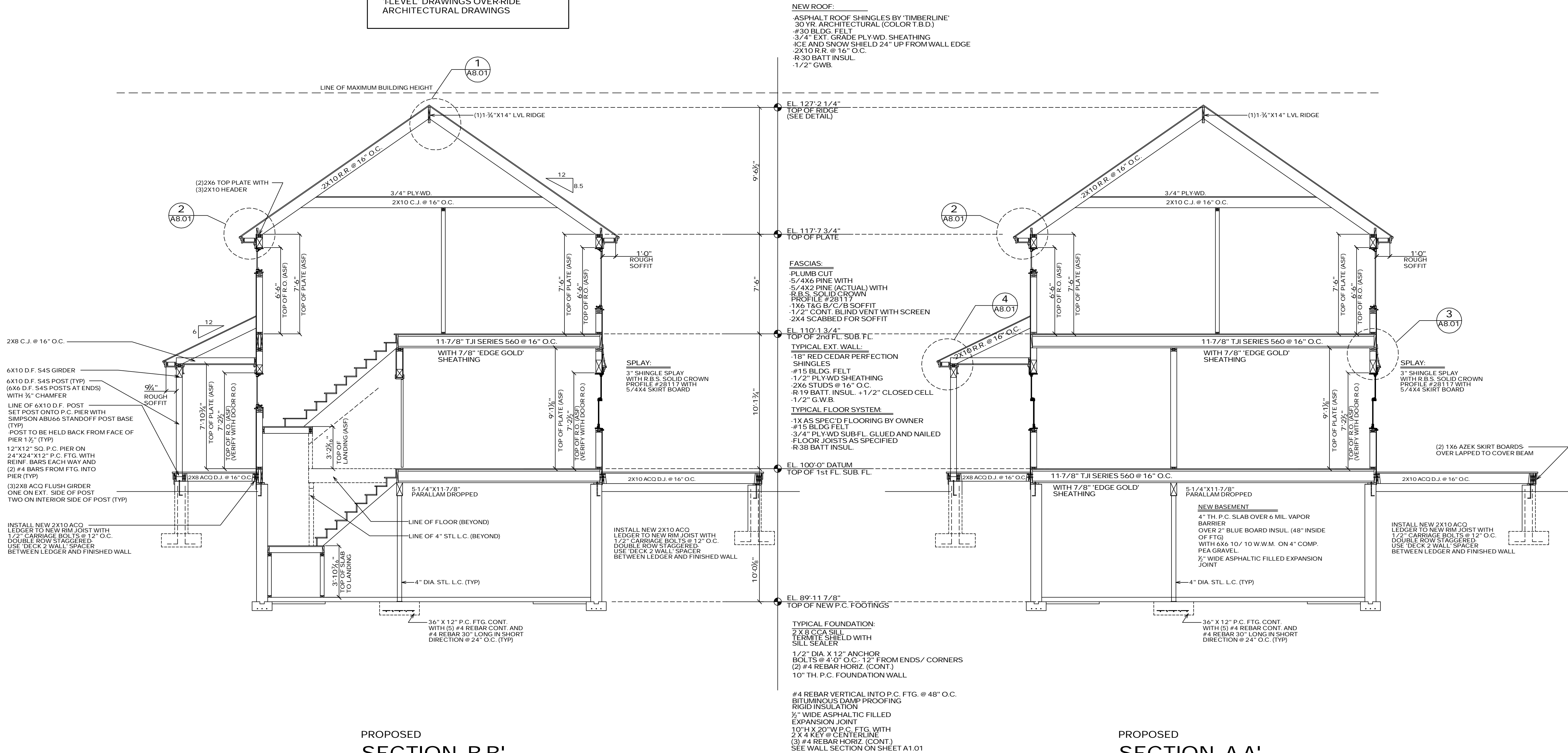
REVISIONS

7.26.10	ISSUED FOR BID

PROPOSED  
SECTIONS

SCALE: 1/4" = 1'-0"	A3.01
DATE: 2 JUNE 2010	
DRAWING BY: BATS	
JOB NO.: 0001	

NOTE: SEE FRAMING PLANS FROM  
'I-LEVEL' SHEET 1 FOR FRAMING  
DETAILS, JOIST AND HEADER SIZES,  
'I-LEVEL' DRAWINGS OVER-RIDE  
ARCHITECTURAL DRAWINGS



PROPOSED  
**SECTION B-B'**  
SCALE: 1/4" = 1'-0"

PROPOSED  
**SECTION A-A'**  
SCALE: 1/4" = 1'-0"

PROPOSED RESIDENCE  
FOR  
**SHERMAN  
PRAGER**  
62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

NOTES:  
S.C.T.M. NO. 300-187-1-2  
ZONING AREA: 'B' RESIDENCE  
LOT AREA: 22,582.0 SQ.FT.

ALLOWABLE LOT COVERAGE:  
ACTUAL LOT COVERAGE

SOLID BLOCK UNDER ALL BEARING  
WALL PARTITIONS  
(2)1-3/4"X1-1/2" (MIN) HEADER AT  
WINDOWS AND DOORS  
TRIPLE 2X4, 2X6 POSTS UNDER ALL  
HEADERS  
TJI FLOOR JOISTS TO BE INSTALLED IN  
STRICT ACCORDANCE WITH  
MANUFACTURERS SPECIFICATIONS

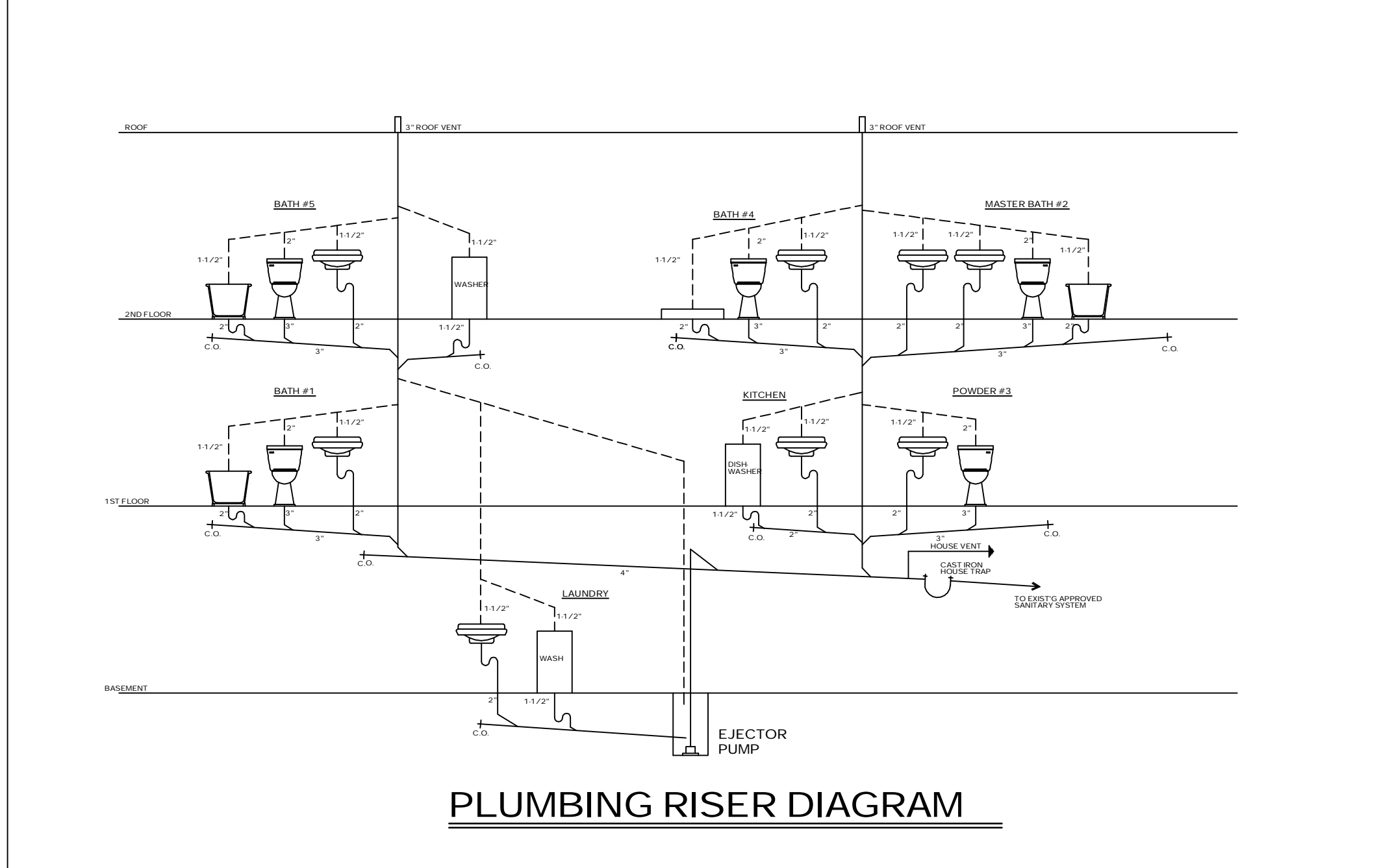
OWNERSHIP AND USE OF DOCUMENTS:  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL  
SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.  
THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY  
OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE  
PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN  
AUTHORIZATION OF BRUCE A.T. SISKAA ARCHITECT PLLC.

©COPYRIGHT 2007, BRUCE A.T. SISKAA ARCHITECT PLLC.  
ALL RIGHTS RESERVED.

ERRORS OR OMISSIONS IN THE DRAWINGS WHICH ARE CLEARLY  
NECESSARY FOR THE COMPLETION OF THE WORK OR ITS  
APPROPRIATENESS SHALL BE CONSIDERED TO BE INCLUDED WORK.  
ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS,  
CONTACT ARCHITECT FOR VERIFICATION IF APPROPRIATE.

REVISIONS	
7.26.10	ISSUED FOR BID

PROPOSED SECTIONS	
SCALE: 1/4" = 1'-0"	A3.02
DATE: 2 JUNE 2010	
DRAWING BY: BATS	
JOB NO.: 0001	



NEW ROOF:  
-ASPHALT ROOF SHINGLES BY 'TIMBERLINE'  
-30 YR. ARCHITECTURAL (COLOR T.B.D.)  
-#30 BLDG. FELT  
-3/4" EXT. GRADE PLYWD. SHEATHING  
-ICE AND SNOW SHIELD 24" UP FROM WALL EDGE  
-2X10 R.R. @ 16" O.C.  
-R-30 BATT INSUL.  
-1/2" G.W.B.

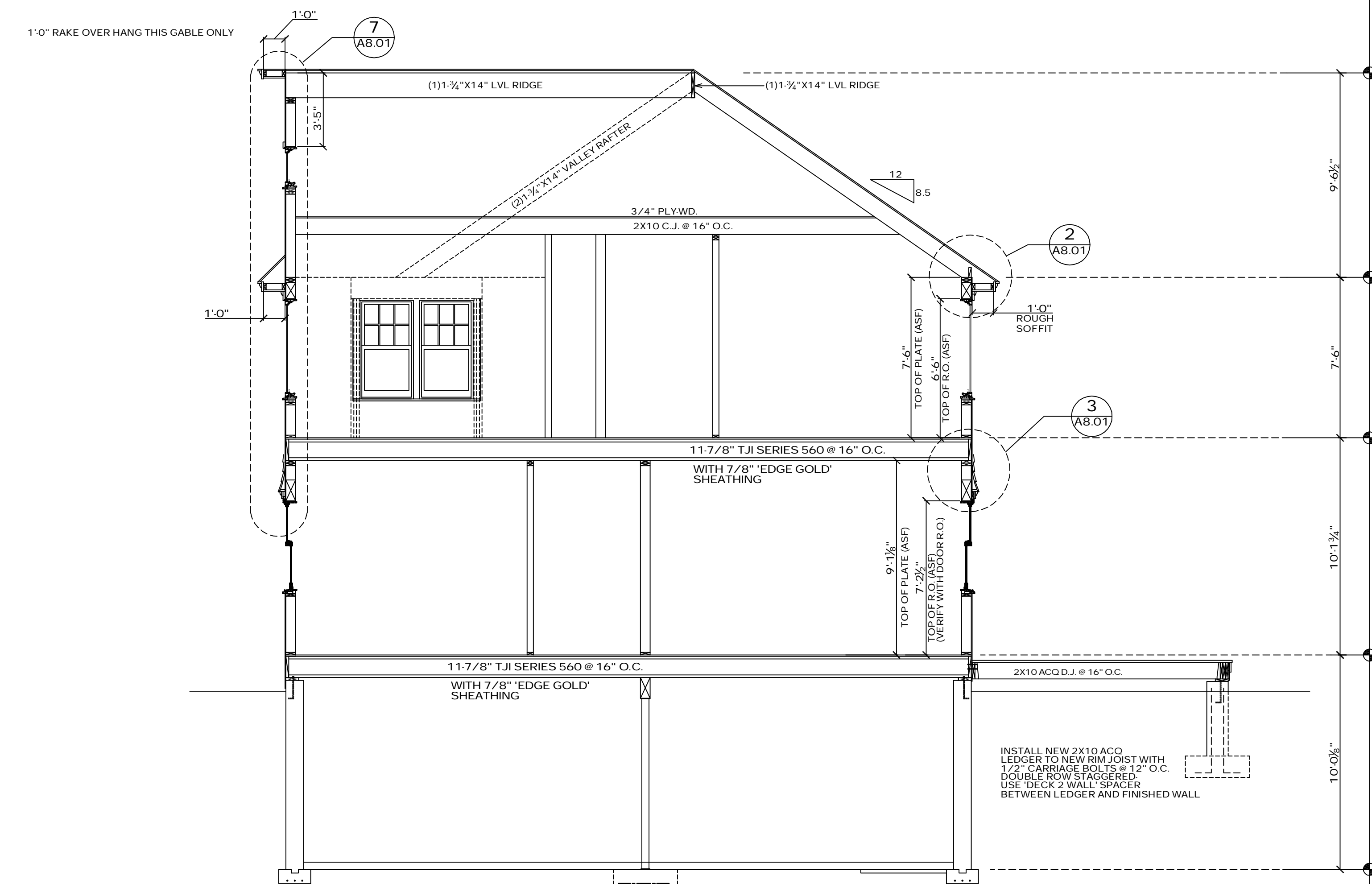
FASCIAS:  
-PLUMB CUT  
-5/4X6 PINE WITH  
-5/4X2 PINE (ACTUAL) WITH  
-R.B.S. SOLID CROWN  
-PROFILE #28117  
-1X6 T&G B/C/B SOFFIT  
-1/2" CONT. BLIND VENT WITH SCREEN  
-2X4 SCABBED FOR SOFFIT

TYPICAL EXT. WALL:  
-18" RED CEDAR PERFECTION  
SHINGLES  
-#15 BLDG. FELT  
-1/2" PLYWD SHEATHING  
-2X6 STUDS @ 16" O.C.  
-R-19 BATT. INSUL. + 1/2" CLOSED CELL  
-1/2" G.W.B.

TYPICAL FLOOR SYSTEM:  
-1X AS SPEC'D FLOORING BY OWNER  
-#15 BLDG. FELT  
-3/4" PLYWD SUBFL. GLUED AND NAILED  
-FLOOR JOISTS AS SPECIFIED  
-R-38 BATT INSUL.

TYPICAL FOUNDATION:  
-2 X 8 CCA SILL  
-TERMIATE SHIELD WITH  
SILL SEALER  
-1/2" DIA. X 12" ANCHOR  
BOLTS @ 4'-0" O.C. - 12" FROM ENDS/ CORNERS  
(2) #4 REBAR HORIZ. (CONT.)  
-10" TH. P.C. FOUNDATION WALL

#4 REBAR VERTICAL INTO P.C. FTG. @ 48" O.C.  
-BITUMINOUS DAMP PROOFING  
-RIGID INSULATION  
-3/4" WIDE ASPHALTIC FILLED  
EXPANSION JOINT  
-10" H X 20" W P.C. FTG. WITH  
2 X 4 KEY @ CENTERLINE  
(3) #4 REBAR HORIZ. (CONT.)  
SEE WALL SECTION ON SHEET A1.01



PROPOSED  
**SECTION C-C'**  
SCALE: 1/4" = 1'-0"

PROPOSED  
**SECTION D-D'**  
SCALE: 1/4" = 1'-0"



PROPOSED RESIDENCE  
FOR  
**SHERMAN  
PRAGER**  
62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

NOTES:  
S.C.T.M. NO. 300-187-1-2  
ZONING AREA: B' RESIDENCE  
LOT AREA: 22,582.0 SQ.FT.

ALLOWABLE LOT COVERAGE:  
ACTUAL LOT COVERAGE

SOLID BLOCK UNDER ALL BEARING  
WALL PARTITIONS  
(2)1-3/4"X11-1/2" (MIN) HEADER AT  
WINDOWS AND DOORS  
TRIPLE 2X4, 2X6 POSTS UNDER ALL  
HEADERS  
TJI FLOOR JOISTS TO BE INSTALLED IN  
STRICT ACCORDANCE WITH  
MANUFACTURERS SPECIFICATIONS

OWNERSHIP AND USE OF DOCUMENTS:  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL  
SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.  
THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY  
OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE  
PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN  
AUTHORIZATION OF BRUCE A.T. SISKAA ARCHITECT PLLC.

©COPYRIGHT 2007, BRUCE A.T. SISKAA ARCHITECT PLLC.  
ALL RIGHTS RESERVED.

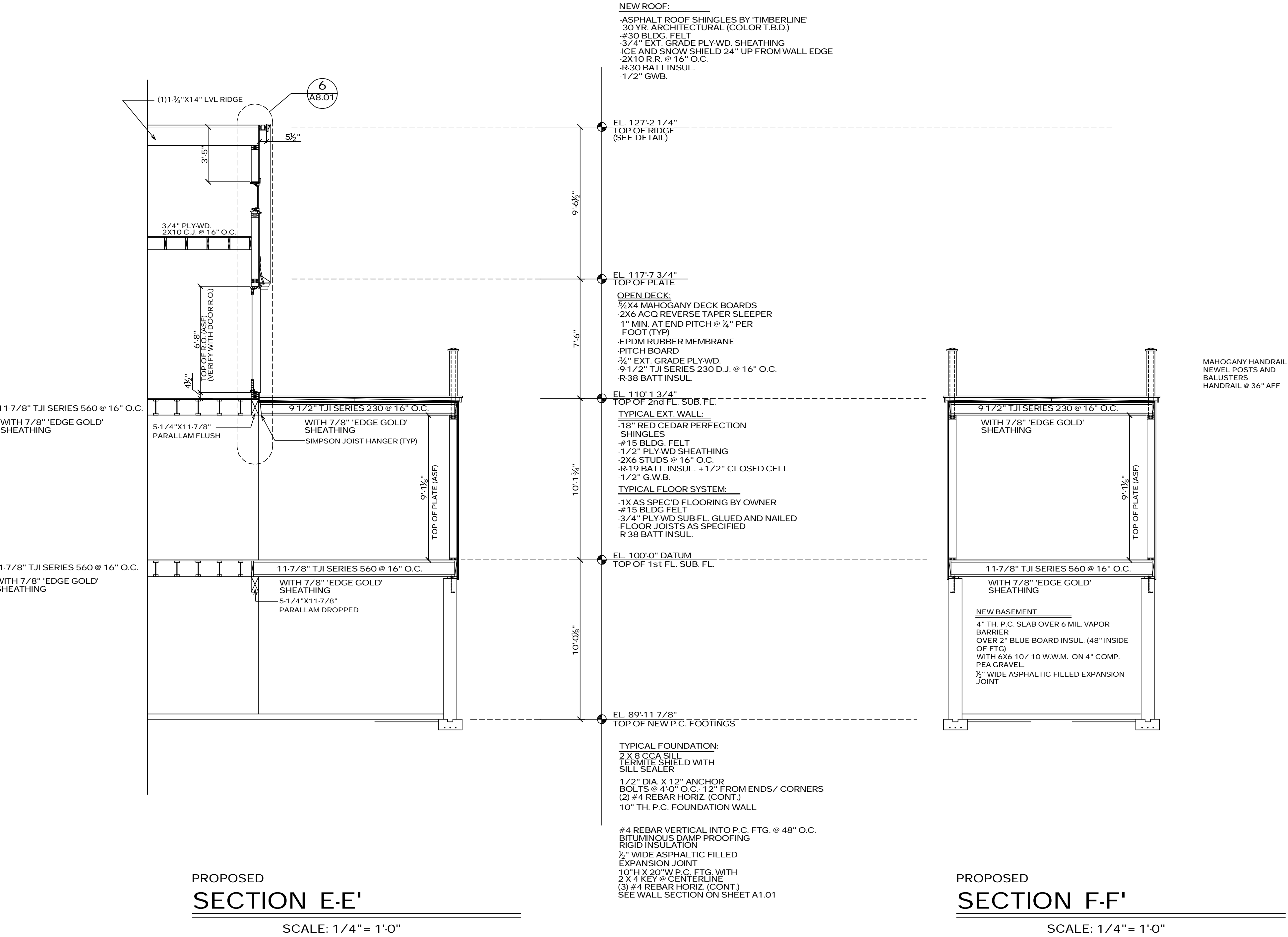
ERRORS OR OMISSIONS IN THE DRAWINGS WHICH ARE CLEARLY  
NECESSARY FOR THE COMPLETION OF THE WORK OR ITS  
APPROPRIATENESS SHALL BE CONSIDERED TO BE INCLUDED WORK,  
ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.  
CONTACT ARCHITECT FOR VERIFICATION IF APPROPRIATE.

REVISIONS

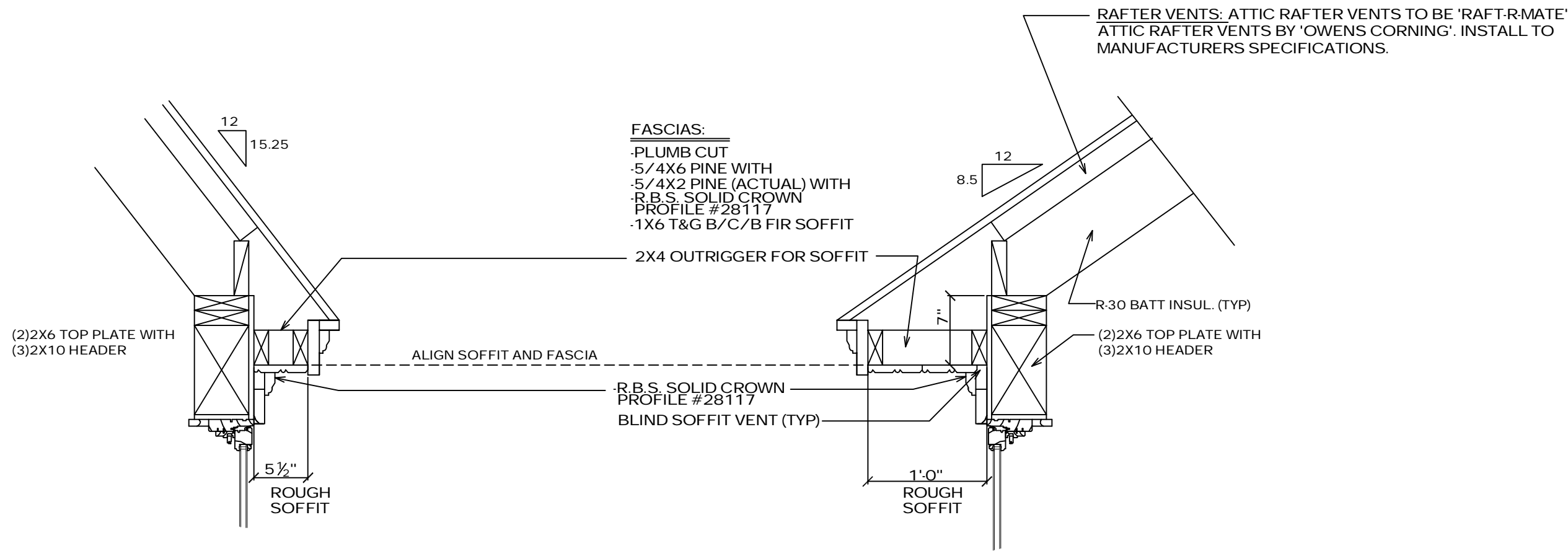
7.26.10	ISSUED FOR BID


PROPOSED  
SECTIONS

SCALE: 1/4" = 1'-0"	A3.03
DATE: 2 JUNE 2010	
DRAWING BY: BATS	
JOB NO.: 0001	





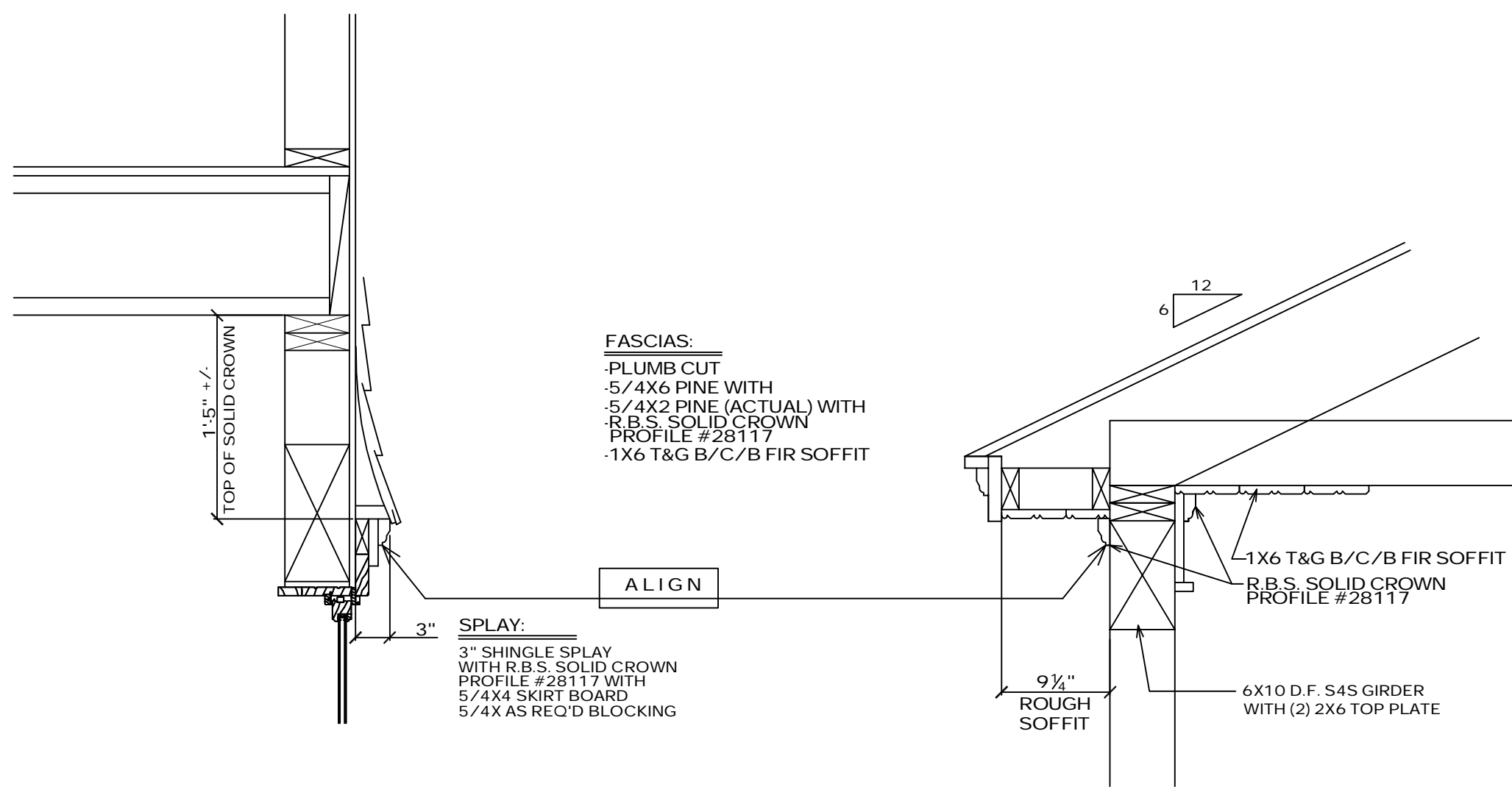


DETAIL #5  
SOFFIT DETAIL

SCALE: 1" = 1'-0"

DETAIL #2  
SOFFIT DETAIL

SCALE: 1" = 1'-0"

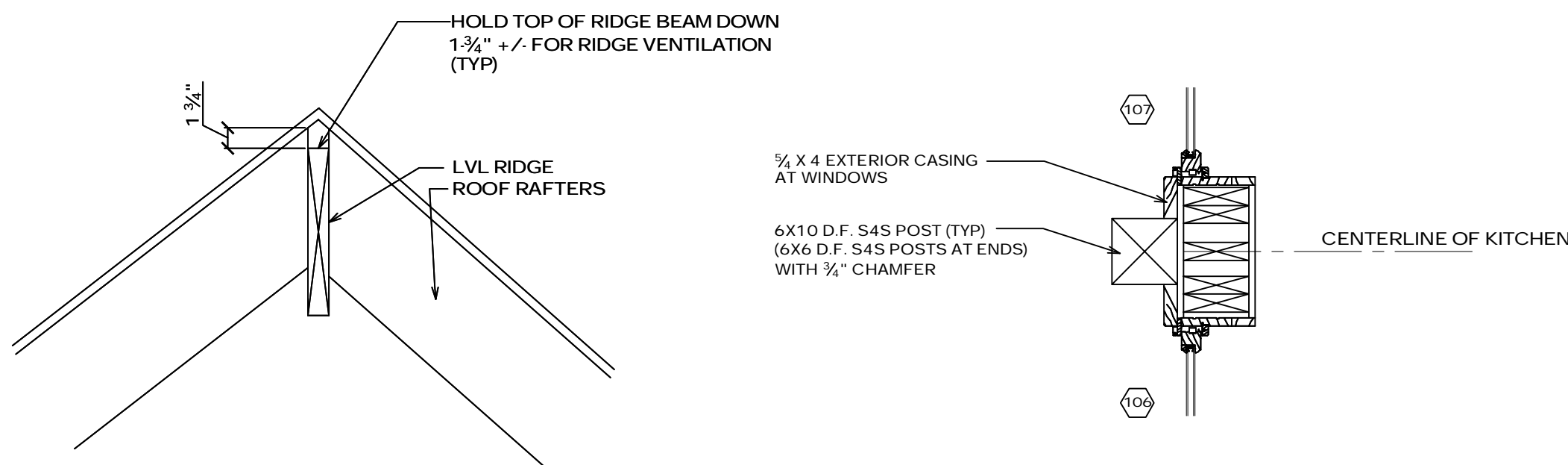


DETAIL #3  
SPLAY DETAIL

SCALE: 1" = 1'-0"

DETAIL #4 PORCH  
SOFFIT DETAIL

SCALE: 1" = 1'-0"

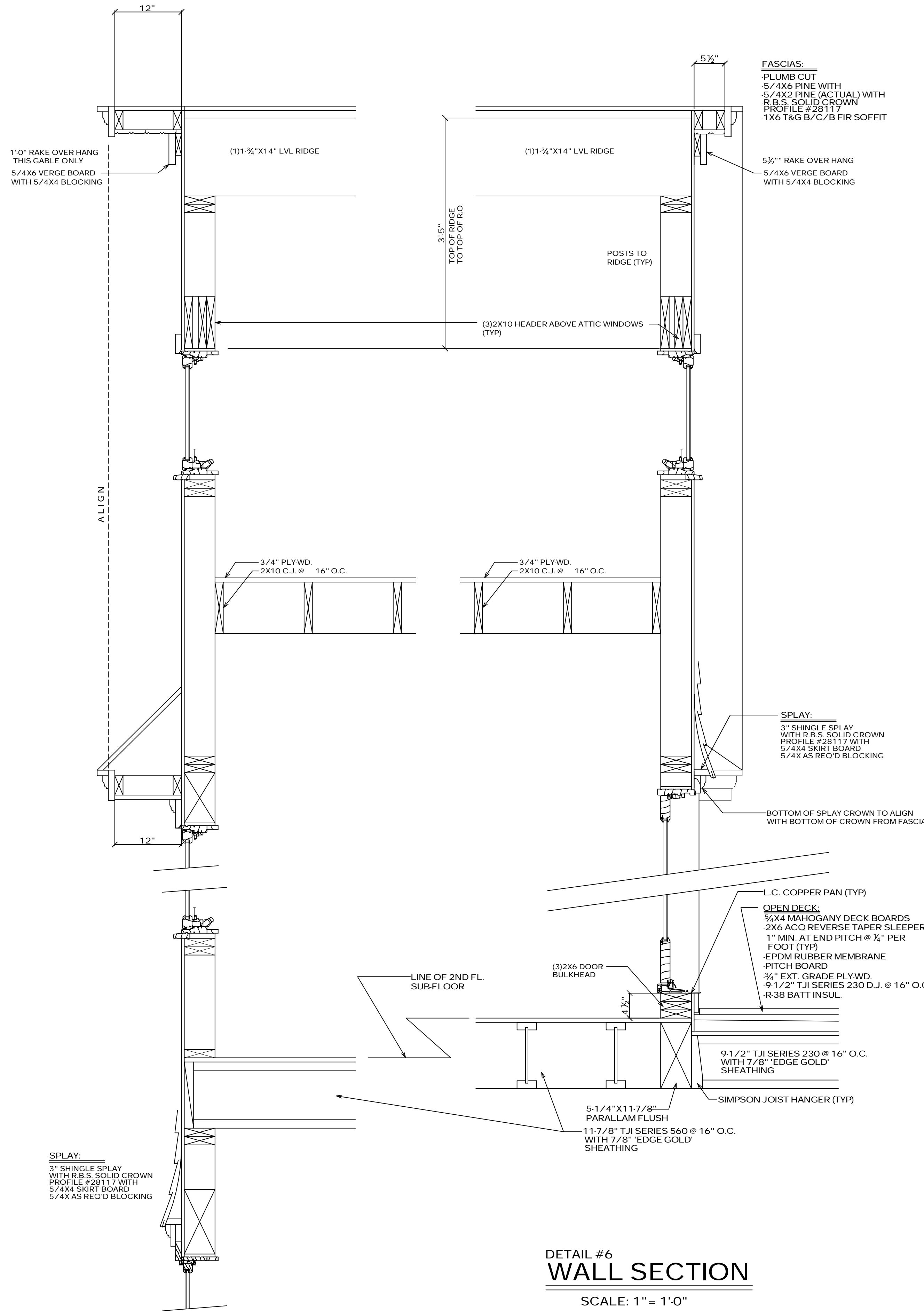


DETAIL #1  
RIDGE DETAIL

SCALE: 1" = 1'-0"

DETAIL #8  
WINDOW/ POST DETAIL

SCALE: 1" = 1'-0"



DETAIL #6  
WALL SECTION

SCALE: 1" = 1'-0"

DETAIL #7  
WALL SECTION

SCALE: 1" = 1'-0"

BRUCE A.T. SISKAA  
ARCHITECT-PLLC  
611N. MAIN STREET  
EAST HAMPTON, NY 11937  
T 631.324.1791  
F 631.324.1695

PROPOSED RESIDENCE  
FOR  
SHERMAN  
PRAGER  
62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

NOTES:  
S.C.T.M. NO. 300-187-1-2  
ZONING AREA: 'B' RESIDENCE  
LOT AREA: 22,582.0 SQ.FT.

ALLOWABLE LOT COVERAGE:  
ACTUAL LOT COVERAGE

SOLID BLOCK UNDER ALL BEARING  
WALL PARTITIONS  
(2)1-3/4"X1-1/2" (MIN) HEADER AT  
WINDOWS AND DOORS  
TRIPLE 2X4, 2X6 POSTS UNDER ALL  
HEADERS  
TJI FLOOR JOISTS TO BE INSTALLED IN  
STRICT ACCORDANCE WITH  
MANUFACTURERS SPECIFICATIONS

OWNERSHIP AND USE OF DOCUMENTS:  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL  
SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.  
THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY  
OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE  
PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN  
AUTHORIZATION OF BRUCE A.T. SISKAA ARCHITECT PLLC.

©COPYRIGHT 2007, BRUCE A.T. SISKAA ARCHITECT PLLC.  
ALL RIGHTS RESERVED.

ERRORS OR OMISSIONS IN THE DRAWINGS WHICH ARE CLEARLY  
NECESSARY FOR THE COMPLETION OF THE WORK OR ITS  
APPROPRIANCIES SHALL BE CONSIDERED TO BE INCLUDED WORK.  
ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS,  
CONTACT ARCHITECT FOR VERIFICATION IF APPROPRIATE.

REVISIONS

7.26.10	ISSUED FOR BID

PROPOSED  
DETAILS

SCALE: 1/4" = 1'-0"	A8.01
DATE: 2 JUNE 2010	
DRAWING BY: BATS	
JOB NO.: 0001	

INTERIOR FINISH SCHEDULE							
ROOM	TRIM	FLOOR	PAINT/ COLOR	APPLIANCES- MAKE-MODEL	FIXTURES- MAKE-MODEL	FITTINGS	MILLWORK, OTHER
FIRST FLOOR							
STUDY	TYPICAL	WOOD:					
ENTRY	TYPICAL	WOOD:					STAIRS: L.J. SMITH STAIR PARTS NEWEL POST: HANDRAIL: BALUSTER:
KITCHEN	TYPICAL	WOOD:		DISHWASHER: REFRIGERATOR: RANGE- HOOD:	SINK:	SINK:	CABINETS, PANTRY COUNTERTOP:
BATHROOM #1	TYPICAL	FLOOR TILE: SHOWER FLOOR TILE: SHOWER WALLS TILE:			WATER CLOSET: SINK: SHOWER: MEDICINE CABINET: ROBURN	SINK: SHOWER:	VANITY, CHAIR RAIL, WAINSCOTTING COUNTERTOP, CUSTOM SHOWER PAN GLASS SHOWER PANEL/ DOOR
MUD ROOM	TYPICAL	WOOD:					
DINING ROOM	TYPICAL	WOOD:					
LIVING ROOM	TYPICAL	WOOD:					WOOD MANTLE

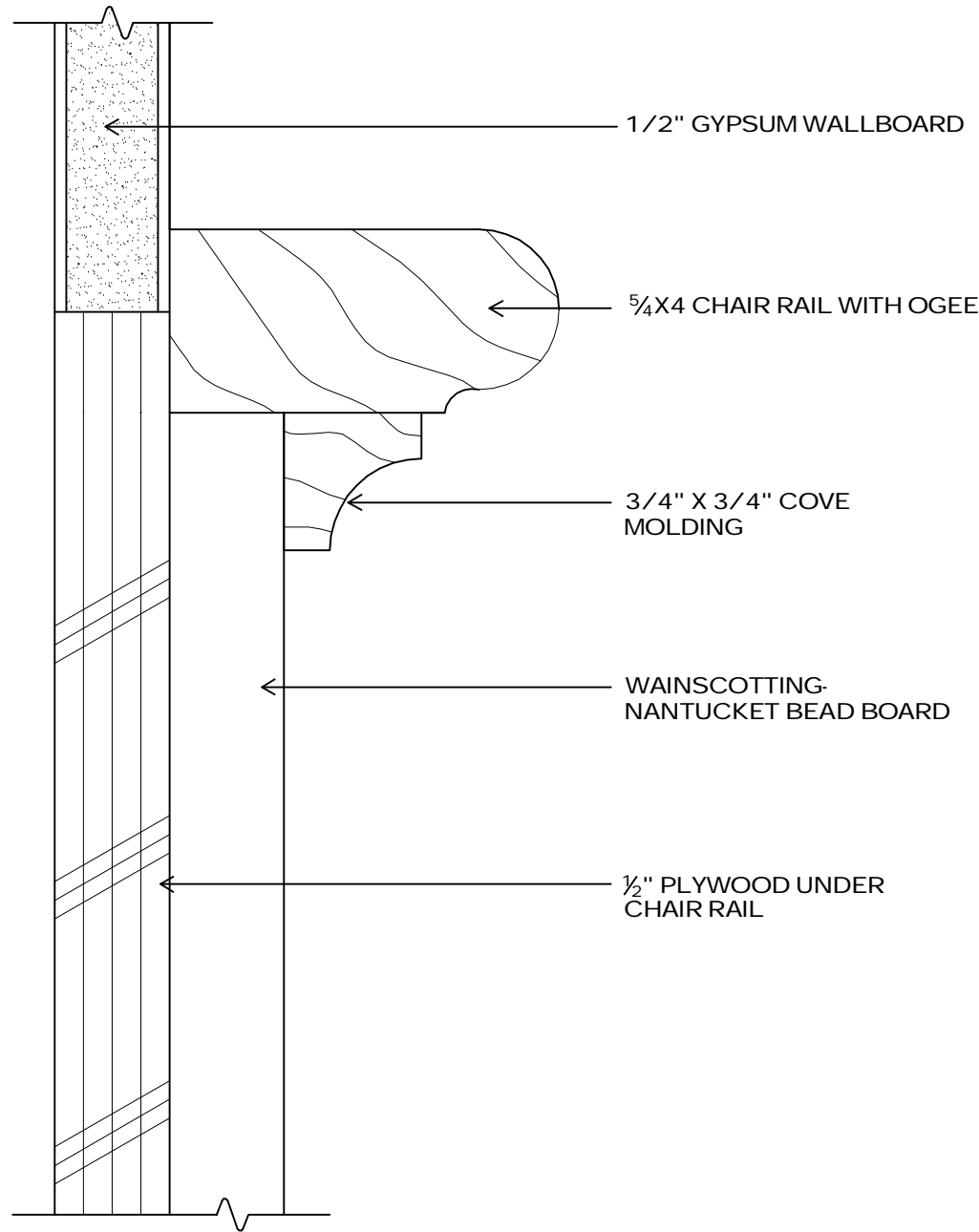
SECOND FLOOR							
BATHROOM #4	TYPICAL	FLOOR TILE: SHOWER FLOOR TILE: SHOWER WALLS TILE:			WATER CLOSET: SINK: SHOWER: MEDICINE CABINET: ROBURN	SINK: SHOWER:	VANITY, CHAIR RAIL, WAINSCOTTING COUNTERTOP, CUSTOM SHOWER PAN GLASS SHOWER PANEL/ DOOR
BEDROOM #3	TYPICAL	WOOD:					
BEDROOM #4	TYPICAL	WOOD:					
STAIR HALL	TYPICAL	WOOD:					STAIRS: L.J. SMITH STAIR PARTS NEWEL POST: HANDRAIL: BALUSTER:
MASTER BATH #2	TYPICAL	FLOOR TILE: SHOWER WALLS TILE:			WATER CLOSET: SINKS: SHOWER: MEDICINE CABINET: ROBURN	SINKS: SHOWER BODY:	VANITY, CHAIR RAIL, WAINSCOTTING COUNTERTOP, GLASS SHOWER PANEL/ DOOR
BEDROOM #2	TYPICAL	WOOD:					
BATHROOM #5	TYPICAL	FLOOR TILE: SHOWER FLOOR TILE: SHOWER WALLS TILE:			WATER CLOSET: SHOWER: MEDICINE CABINET: ROBURN	SHOWER:	VANITY, CHAIR RAIL, WAINSCOTTING COUNTERTOP, CUSTOM SHOWER PAN GLASS SHOWER PANEL/ DOOR

BASEMENT:							
REC ROOM	TYPICAL	T.B.D.					
GYM	TYPICAL	T.B.D.					
STAIR HALL	TYPICAL	T.B.D.					STAIRS: L.J. SMITH STAIR PARTS NEWEL POST: HANDRAIL: BALUSTER:
LAUNDRY	TYPICAL	T.B.D.		WASHER: DRYER:	SINK:	SINK:	CABINETS
MECHANICAL STORAGE	TYPICAL	CONC. SLAB					5/8" TYPE 'X' G.W.B. WALLS, CEILING

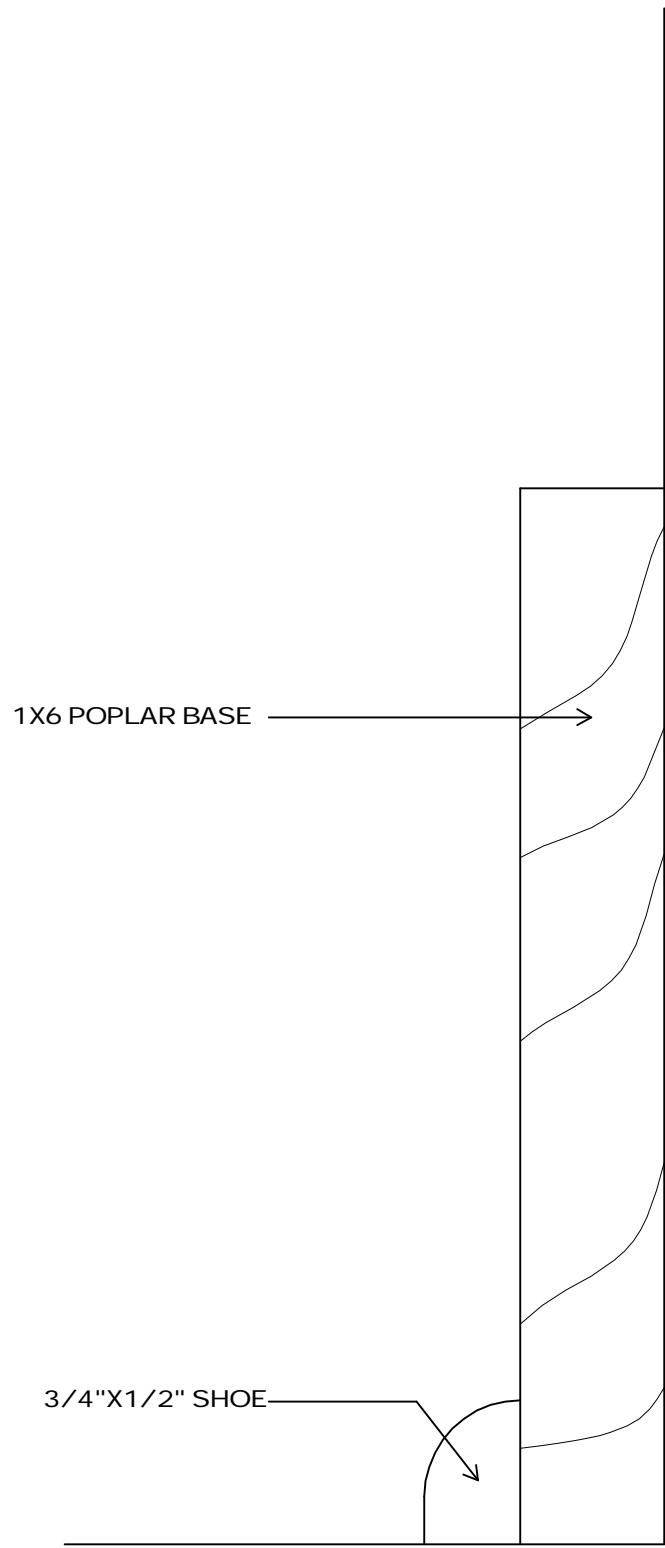
INTERIOR DOOR SCHEDULE				
NUMBER	SIZE	MANUFACTURER	LOCATION	NOTES
001	72"X80" T. OPEN'G		GYM	
002	90"X80" T. OPEN'G		STAIR HALL	
003	30" X 80" DOOR		STAIR CLOSET	
004	36"X80" DOOR		LAUNDRY	
005	48" X 80" T. OPEN'G		STORAGE	
006	36" X 80" DOOR		MECHANICAL ROOM	FIRE RATED
100	82" X 84" T.O.		ENTRY	
101	32"X84" DOOR		BASEMENT STAIR	
102	48" X 84" T.O.		MUD ROOM	
103	30" X 84" DOOR		MUD ROOM CLOSET	
104	48" X 84" T.O.		ENTRY	
105	30" X 84" DOOR		STUDY	
106	28" X 84" DOOR		BATHROOM #1	
200	30" X 80" DOOR		BATHROOM #5	
201	24" X 80" DOOR		BEDROOM #3 CLOSET	
202	(2)30" X 80" DOORS		BEDROOM #4 CLOSET	
203	30" X 80" DOOR		BEDROOM #4	
204	30" X 80" DOOR		BEDROOM #3	
205	18" X 80" DOOR		LINEN CLOSET	
206	30" X 80" DOOR		BATHROOM #4	
207	30" X 80" DOOR		BEDROOM #2	
208	30" X 80" DOOR		BEDROOM #2 CLOSET	
209	30" X 80" DOOR		BEDROOM #2 CLOSET	
210	30" X 80" DOOR		BATHROOM #2	
211	18" X 80" DOOR		LINEN CLOSET	

NOTE: DOOR STYLE AND HARWARE (HINGES, LOCKSETS, KNOBS, ETC.) TO BE DETERMINED

TYPICAL TRIM:		
BASEBOARD	1X6 POPLAR SQUARE EDGE WITH 3/4"X1/2" SHOE	
WINDOW/ DOOR CASING	1X4 POPLAR SQUARE EDGE	
WINDOW APRON	1X4 POPLAR SQUARE EDGE	
WINDOW SILL	5/4" POPLAR WITH OGEE EDGE	
CROWN	BEADED COVE #28107 WITH 1X4 POPLAR WITH 3/8" BEAD	
TRAY CEILING	NOSE AND COVE #28154	



TYPICAL CHAIR RAIL DETAIL  
SCALE: FULL SIZE



TYPICAL BASEBOARD DETAIL  
SCALE: FULL SIZE

BRUCE A.T. SISKAA  
ARCHITECT-PLLC  
611N. MAIN STREET  
EAST HAMPTON, NY 11937  
T 631.324.1791  
F 631.324.1695

PROPOSED RESIDENCE  
FOR  
SHERMAN  
PRAGER

62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

NOTES:  
S.C.T.M. NO. 300-187-1-2  
ZONING AREA: 'B' RESIDENCE  
LOT AREA: 22,582.0 SQ.FT.

ALLOWABLE LOT COVERAGE:  
ACTUAL LOT COVERAGE

OWNERSHIP AND USE OF DOCUMENTS:  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF BRUCE A.T. SISKAA ARCHITECT PLLC.

©COPYRIGHT 2007, BRUCE A.T. SISKAA ARCHITECT PLLC.  
ALL RIGHTS RESERVED.

ERRORS OR OMISSIONS IN THE DRAWINGS WHICH ARE CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APPURTENANCES SHALL BE CONSIDERED TO BE INCLUDED WORK, ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS. CONTACT ARCHITECT FOR VERIFICATION IF APPROPRIATE.

REVISIONS	
7.26.10	ISSUED FOR BID


INTERIOR  
SCHEDULE AND  
DETAILS

SCALE:  
1/4" = 1'-0"

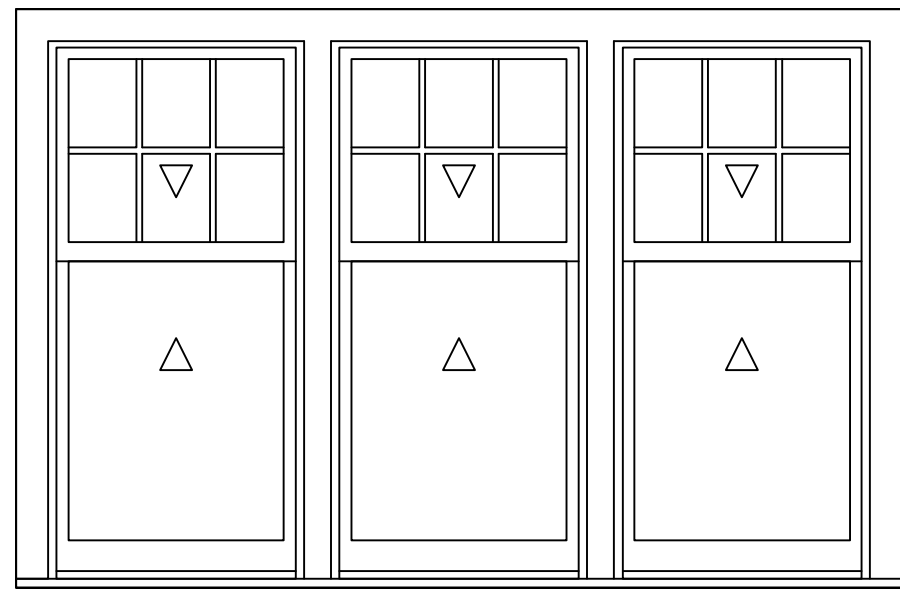
DATE:  
MARCH 11, 2008

DRAWING BY:  
BATS

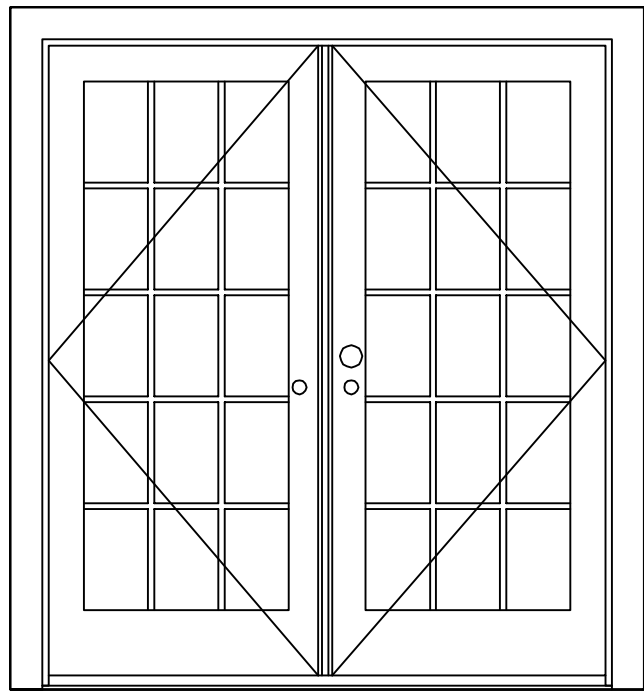
JOB NO.:  
0001

A11.01

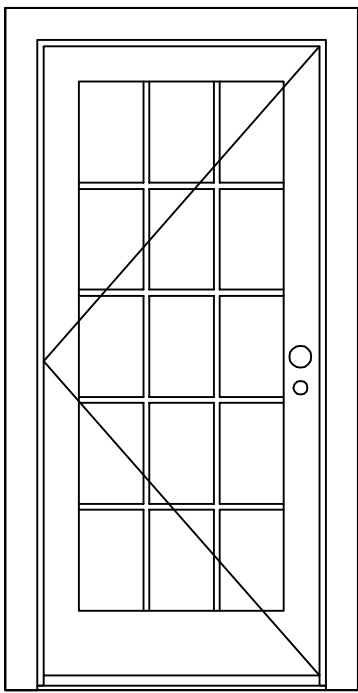




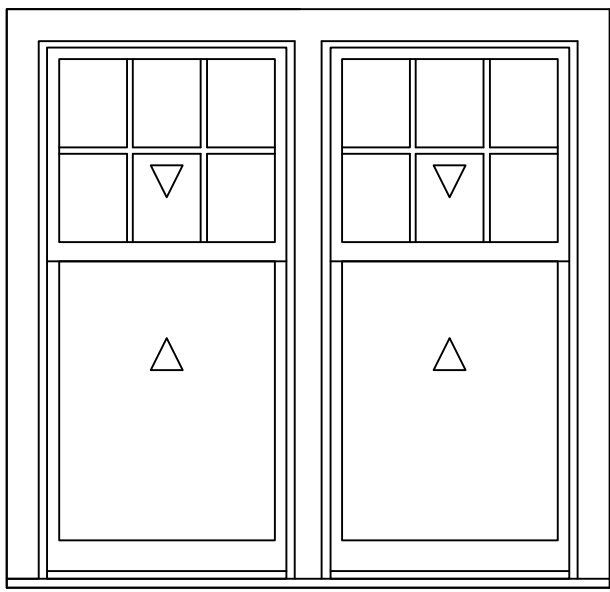
100,102  
(3)WUDH 2824/36  
WITH 2" STUD POCKET  
LIVING ROOM  
DINING ROOM  
KITCHEN



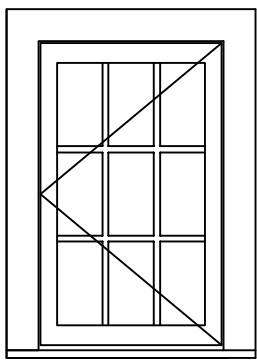
101,104  
WUIFD6070 XXL  
DINING ROOM  
KITCHEN



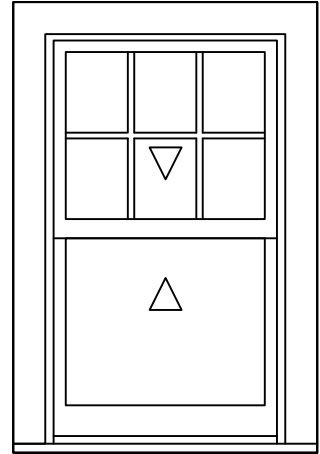
103,108  
WUIFD3070 XL  
KITCHEN  
MUD ROOM



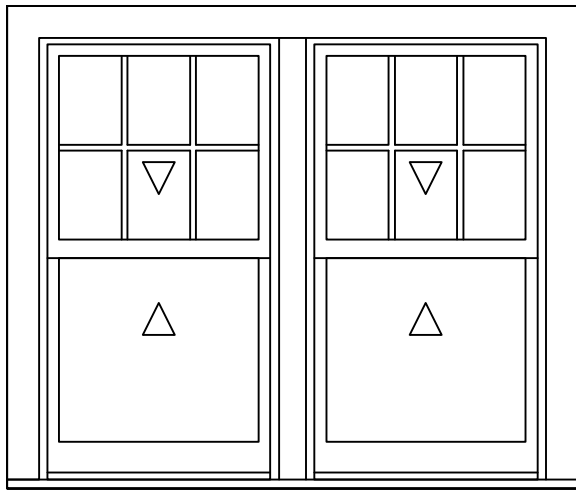
105,112  
(2)WUDH 2824/36  
WITH 2" STUD POCKET  
KITCHEN  
STUDY



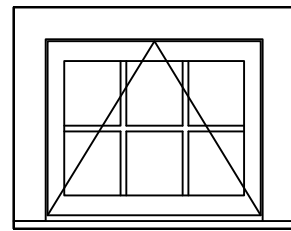
106,107,110  
WCM2440  
KITCHEN  
STAIR HALL



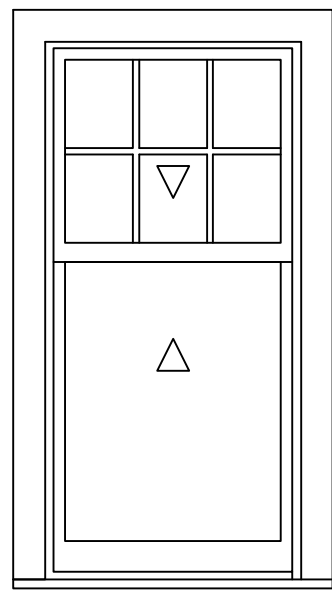
109  
WUDH2622  
MUD ROOM



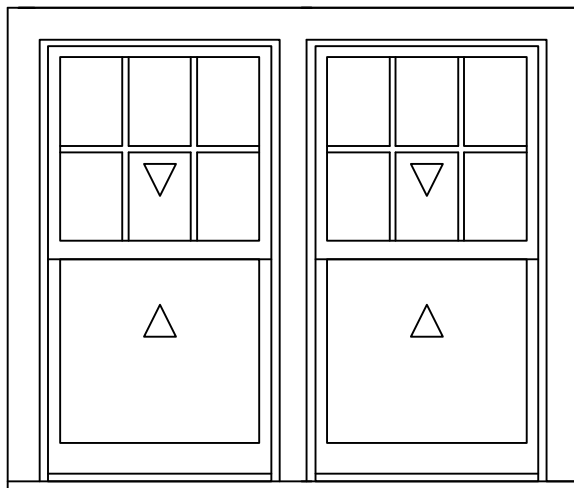
113  
(2)WUDH 2624  
WITH 2" STUD POCKET  
STUDY



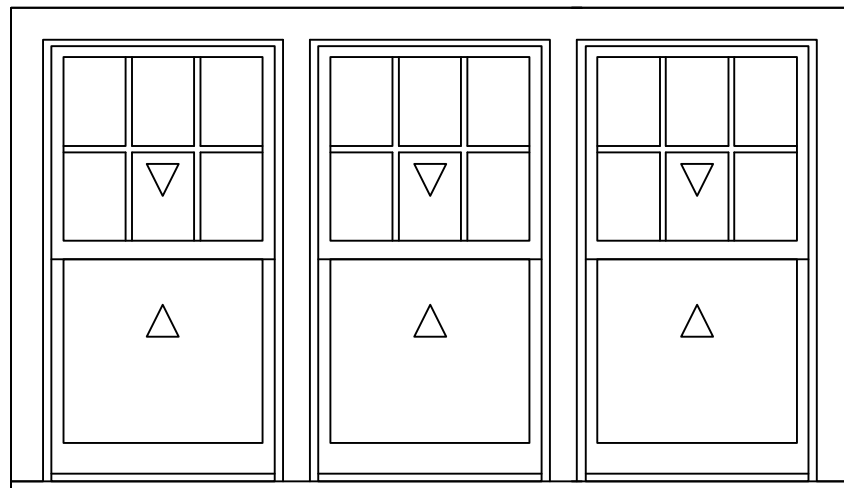
114  
WAWN2824  
BATH #1



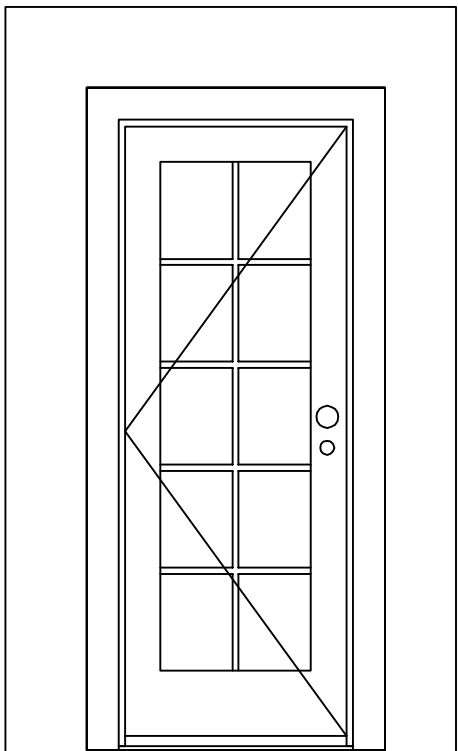
115,116  
WUDH 2824/36  
LIVING ROOM



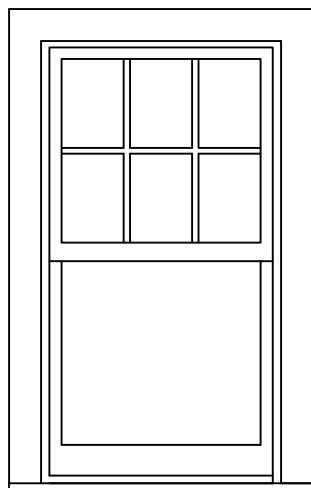
200  
(2)WUDH 2624  
WITH 2" STUD POCKET  
BEDROOM #3



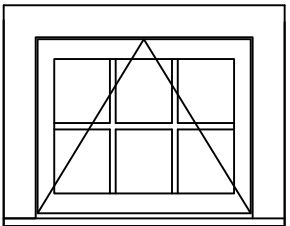
201  
(3)WUDH 2624  
WITH 2" STUD POCKET  
BEDROOM #2



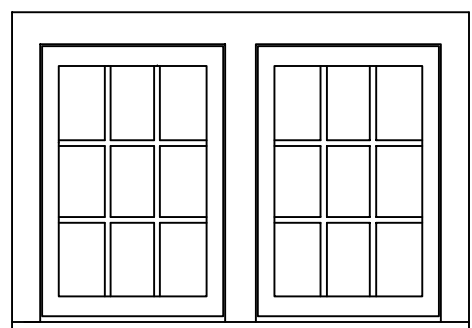
202  
WUIFD2666 XL  
BEDROOM #2



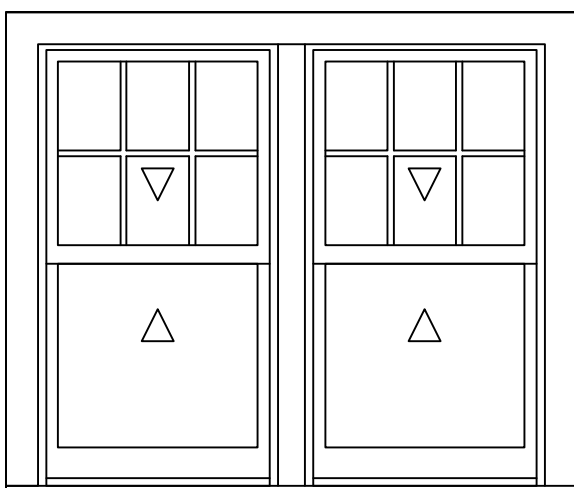
203  
WUDH 2624  
BATHROOM #2



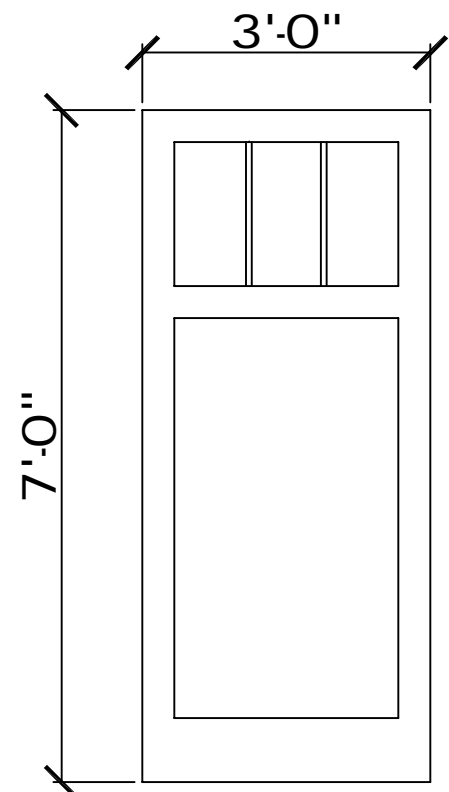
204,206,209  
WAWN2824  
BATH #2  
BATH #4  
BATH #5



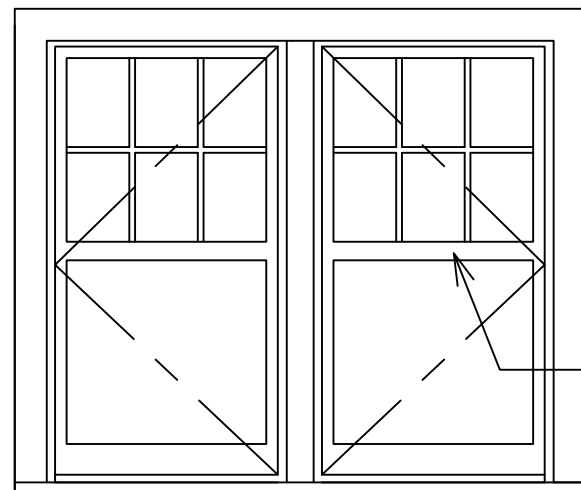
205  
(2)WCM2436-STAT  
2" STUD POCKET  
STAIR HALL



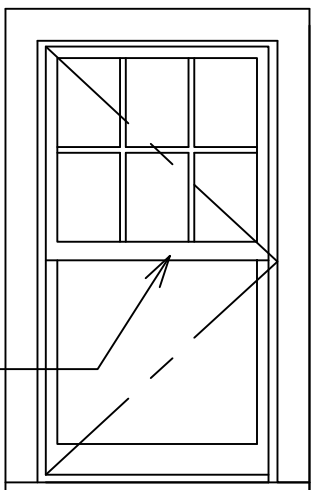
208  
(2)WUDH 2624  
WITH 2" STUD POCKET  
BEDROOM #4



111  
SIMPSON #6813  
VERIFY WITH OWNER BEFORE  
ORDERING  
(3) SQUARE HINGES (OWNER TO PROVIDE)  
LOCKSET (OWNER TO PROVIDE)

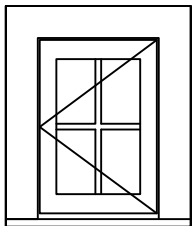


207  
(2)WCM3256  
WITH 2" STUD POCKET  
BEDROOM #4  
EGRESS WINDOW



210  
WCM3256  
BEDROOM #3  
EGRESS WINDOW

CENTER MUNTIN TO MATCH SIZE AT  
DOUBLE HUNG WINDOWS



300,301,302  
WCM1624  
ATTIC

NOTE DOOR HEIGHT

#### WINDOW SPECIFICATIONS

MANUFACTURER: MARVIN  
EXTERIOR FINISH: PRIMED  
INTERIOR FINISH: PRIMED  
JAMB DIMENSION: 6-9/16" (CONTRACTOR TO VERIFY)  
EXTERIOR CASING: 5/4 X 4 FLAT (U.N.O.)  
GLAZING TYPE: INSULATING GLASS WITH LOW E  
DIVIDED LITES: 7/8" SDL WITH BRONZE SPACER BARS  
WINDOW SCREENS: WHITE SCREENS  
WINDOW HARDWARE: SATIN NICKEL  
DOOR SCREENS: WHITE SCREENS  
DOOR HARDWARE: BRASS MULTI POINT  
WINDOW SILL: 2"

#### ADDITIONAL NOTES:

ALL NEW WINDOWS AND DOORS TO HAVE A WOOD DRIP CAP,  
1-1/8" X 1-5/8" R.B.S. PROFILE #28120 WITH  
ANDERSEN VINYL DRIP FLASHING

BRUCE A.T. SISKAA  
ARCHITECT-PLLC  
61N. MAIN STREET  
EAST HAMPTON, NY 11937  
T 631.324.1791  
F 631.324.1695

PROPOSED RESIDENCE  
FOR  
**SHERMAN  
PRAGER**  
62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

NOTES:  
S.C.T.M. NO. 300-187-1-2  
ZONING AREA: 'B' RESIDENCE  
LOT AREA: 22,582.0 SQ.FT.

ALLOWABLE LOT COVERAGE:  
ACTUAL LOT COVERAGE

OWNERSHIP AND USE OF DOCUMENTS:  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL  
SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.  
THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY  
OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE  
PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN  
AUTHORIZATION OF BRUCE A.T. SISKAA ARCHITECT PLLC.

©COPYRIGHT 2009, BRUCE A.T. SISKAA ARCHITECT PLLC.  
ALL RIGHTS RESERVED.

ERRORS OR OMISSIONS IN THE DRAWINGS WHICH ARE CLEARLY  
NECESSARY FOR THE COMPLETION OF THE WORK OR ITS  
APPURTENANCES SHALL BE CONSIDERED TO BE INCLUDED WORK,  
ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.  
CONTACT ARCHITECT FOR VERIFICATION IF APPROPRIATE.

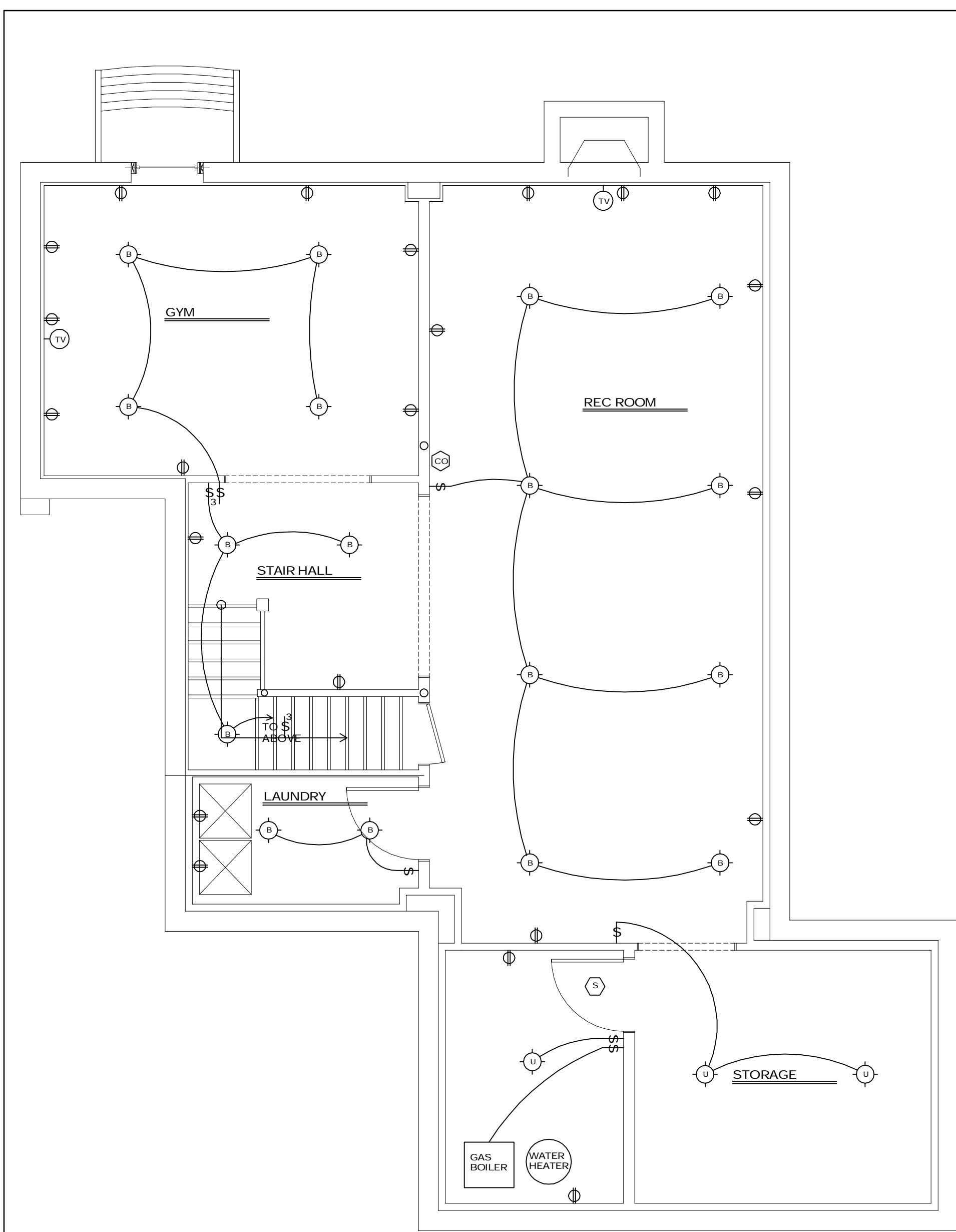
#### REVISIONS

NO.	DESCRIPTION
9.1.10	REVISED BACK DECK, WINDOW #104
7.26.10	ISSUED FOR BID

## PROPOSED WINDOW SCHEDULE

SCALE:	1/4" = 1'-0"
DATE:	
DRAWING BY:	BATS
JOB NO.:	0001

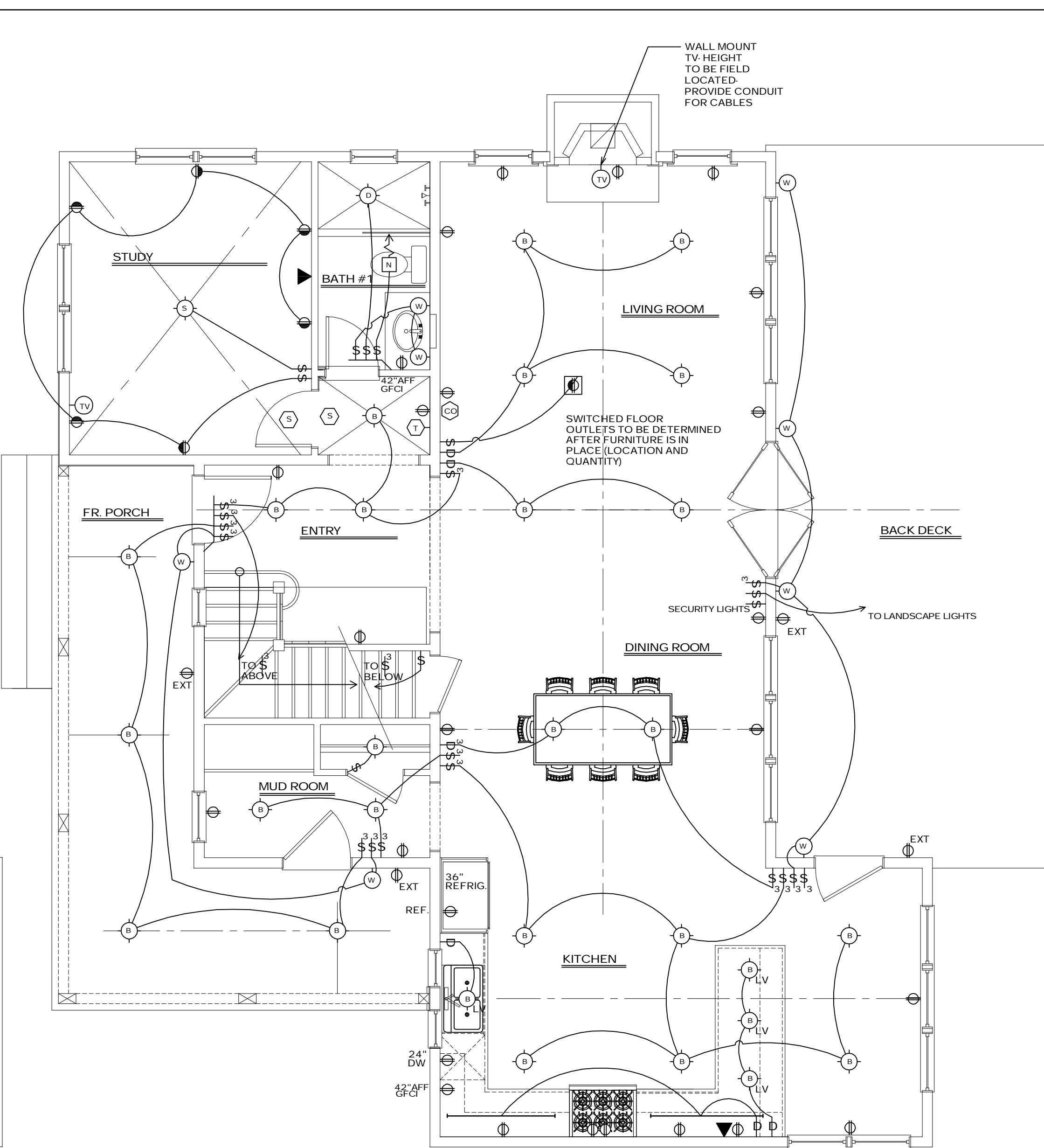
A11.02



PROPOSED  
BASEMENT ELECTRIC PLAN

SCALE: 1/4" = 1'-0"

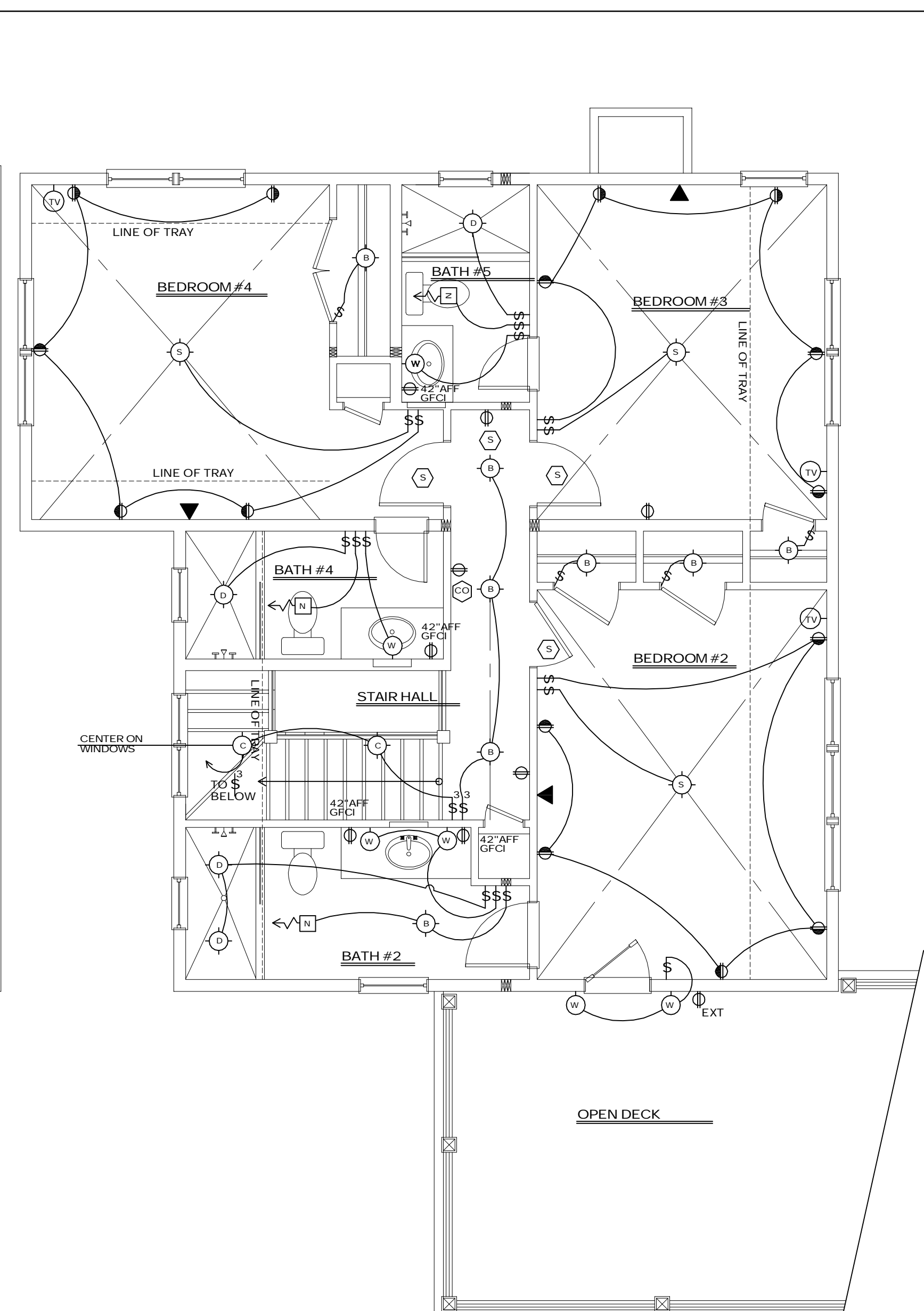
ELECTRICAL FIXTURE SCHEDULE			
PROPOSED			
	DUPLEX RECEPTACLE		HANGING FIXTURE, SUPPLIED BY OWNER
	DUPLEX RECEPTACLE GFCI		WATERPROOF SHOWER LIGHT
	DUPLEX RECEPTACLE EXTERIOR GFCI		UNDER COUNTER LIGHT
	DUPLEX RECEPTACLE SWITCHED		EXTERIOR FIXTURE, SUPPLIED BY OWNER
	DUPLEX FLUSH FLOOR RECEPTACLE		FUTURE LIGHT
	DUPLEX FLUSH FLOOR RECEPTACLE SWITCHED		FAN WITH SPEED CONTROL
	TELEPHONE		MOTOR
	CABLE TV		THERMOSTAT
	TOGGLE SWITCH		UTILITY LAMP HOLDER WITH PULL CHAIN TO CODE
	DIMMER SWITCH		WALL MOUNT, SUPPLIED BY OWNER
	3 WAY SWITCH		RECESSED FAN / LIGHT MODEL #774 BY BROAN
	4 WAY SWITCH		SURFACE MOUNT, SUPPLIED BY OWNER
	RECESSED ACCENT LIGHT		SMOKE DETECTOR TO CODE
	RECESSED BAFFLE		CARBON MONOXIDE DETECTOR
	CLOSET LIGHT TO CODE		FLOURESCENT CLOSET LIGHT
			ALARM KEY PAD WITH PANIC BUTTON FOR ALL EXTERIOR LIGHTS
			ELEVATOR CALL BUTTON



PROPOSED  
FIRST FLOOR ELECTRIC PLAN

SCALE: 1/4" = 1'-0"

- NOTES:
- LOCATE CARBON MONOXIDE DETECTORS PER CODE
  - SECURITY LIGHTS TO BE FIELD LOCATED, UNDER SOFFITS
  - ALL CABLE AND TELEPHONE HOME RUNS TO CENTRAL LOCATIONS
  - MAIN PANEL TO BE SIZED SO THAT NO SUB-PANELS ARE REQUIRED
  - BATHROOM WALL SCONCE(S), QUANTITY PER BATHROOM T.B.D. BY OWNER
  - (1) ONE PAIR OF AUDIO SPEAKERS WIRED FOR MAIN ROOMS (LIVING ROOM, DINING ROOM, KITCHEN, MASTER BEDROOM) WITH KEY PAD LOOP PER ROOM
  - DOORBELL(S)
  - APPLIANCES
    - SUB-ZERO OR GE 36" REFRIGERATOR
    - DUAL FUEL RANGE
    - ELECTRIC SINGLE OVEN
    - GAS DRYERS
    - GARBAGE DISPOSAL AT KITCHEN SINK



PROPOSED  
SECOND FLOOR ELECTRIC PLAN

SCALE: 1/4" = 1'-0"

BRUCE A.T. SISKAA  
ARCHITECT-PLLC  
61N. MAIN STREET  
EAST HAMPTON, NY 11937  
T 631.324.1791  
F 631.324.1695

PROPOSED RESIDENCE  
FOR  
**SHERMAN  
PRAGER**  
62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

NOTES:  
S.C.T.M. NO. 300-187-1-2  
ZONING AREA: B' RESIDENCE  
LOT AREA: 22,582.0 SQ.FT.

OWNERSHIP AND USE OF DOCUMENTS:  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF BRUCE A.T. SISKAA ARCHITECT PLLC.

©COPYRIGHT 2009, BRUCE A.T. SISKAA ARCHITECT PLLC.  
ALL RIGHTS RESERVED.

ERRORS OR OMISSIONS IN THE DRAWINGS WHICH ARE CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APURTENANCES SHALL BE CONSIDERED TO BE INCLUDED WORK, ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS. CONTACT ARCHITECT FOR VERIFICATION IF APPROPRIATE.

REVISIONS	
7.26.10	ISSUED FOR BID

PROPOSED  
ELECTRIC  
PLANS

SCALE:  
1/4" = 1'-0"

DATE:

DRAWING BY:  
BATS

JOB NO.:  
0001

E1.01



SECTION 1: GENERAL REQUIREMENTS

COPYRIGHT BY BRUCE A.T. SISK, ARCHITECT, 2010. ALL RIGHTS RESERVED. THE MATERIAL CONTAINED WITHIN IS THE EXCLUSIVE PROPERTY AND POSSESSION OF BRUCE A.T. SISK. USE THEREOF IS GRANTED ONLY CONFIDENTIALLY IN CONNECTION WITH THE CONSTRUCTION OR SALE OF THE STRUCTURE DEPICTED HEREIN. THE RECIPIENT AGREES TO ABIDE BY THESE RESTRICTIONS. ANY USE, REPRODUCTION OR DISCLOSURE OF ANY INFORMATION IN WHOLE OR PART CONTAINED HEREIN WITHOUT WRITTEN PERMISSION OF BRUCE A.T. SISK, IS EXPRESSLY PROHIBITED.

STATUS OF GENERAL NOTES: THESE GENERAL NOTES SHALL BE ISSUED INSEPARABLY AS PART OF THE DRAWINGS, WHICH SHALL BE INCLUDED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE DRAWINGS SHALL BE INCOMPLETE WITHOUT THEM.

THE DRAWINGS (GENERAL NOTES INCLUDED) SHALL NOT BE MODIFIED BY CONTRACT, EXCEPT WITH WRITTEN APPROVAL BY THE ARCHITECT, AND ANY CONTRACT FOR CONSTRUCTION OF THE PROPOSED PROJECT SHALL BE EXECUTED IN SUBSERVENCE TO THE DRAWINGS.

BRUCE A.T. SISK, ARCHITECT, IS RESPONSIBLE OR LIABLE FOR ANY ON SITE CHANGES THAT EFFECT THE ARCHITECTURAL AESTHETIC, INTEGRITY, OR STRUCTURE OF THE PROPOSED PROJECT MADE BY BUT NOT LIMITED TO CLIENT, CONTRACTOR, MATERIALS, LABOR AND EQUIPMENT WITHOUT WRITTEN APPROVAL BY BRUCE A.T. SISK, ARCHITECT, PLLC.

ANY REFERENCES MADE TO THE DRAWINGS SHALL BE UNDERSTOOD TO MEAN THE COMPLETE SET OF DRAWINGS, INCLUDING THE GENERAL NOTES.

SCOPE OF WORK: THESE GENERAL NOTES, TOGETHER WITH THE ARCHITECTURAL DRAWINGS, AND SEPARATELY ISSUED SPECIFICATIONS (IF ANY), DESCRIBE THE CONSTRUCTION OF THE STRUCTURE INDICATED IN THE TITLE BLOCK OF THESE DRAWINGS.

ALL WORK SHALL CONFORM TO THE REQUIREMENTS AND STANDARDS SET FORTH HEREIN.

THE WORK INCLUDES, BUT IS NOT LIMITED TO, ALL SITE WORK AND ALL ARCHITECTURAL WORK INDICATED ON THE DRAWINGS.

MATERIAL S AND WORKMANSHIP SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KIND UNLESS SPECIFIED OTHERWISE.

EXAMINATION OF THE SITE: THE CONTRACTOR SHALL BE REQUIRED TO SATISFY HIMSELF, BY PERSONAL EXAMINATION OF THE WORK SITE, CONCERNING ANY EXISTING CONDITIONS AND DIFFICULTIES LIKELY TO BE ENCOUNTERED IN THE CONSTRUCTION OF THE WORK.

RULES AND REGULATIONS: THE WORK OF THIS ENTIRE PROJECT SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, COUNTY, TOWN AND LOCAL LAWS AND REGULATIONS. BRUCE A.T. SISK SHALL BE NOTIFIED OF CHANGES REQUIRED BY THE BUILDING OFFICIALS, IF ANY, TO BRING THE PROJECT INTO COMPLIANCE.

THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS, INSPECTIONS FROM THE VILLAGE OF EAST HAMPTON INCLUDING FOUNDATION, FRAMING, INSULATION, PLUMBING, ELECTRICAL, ETC., AND CERTIFICATE OF OCCUPANCY.

ALL WORK SHALL CONFORM TO THESE DRAWINGS, THE STATE OF NEW YORK BUILDING CODE, NYS ENERGY CONSERVATION CONSTRUCTION CODE, AND ALL OTHER RULES & REGULATIONS HAVING JURISDICTION OVER THE PROJECT, INCLUDING OSHA.

ERRORS OR OMISSIONS IN THE DRAWINGS WHICH ARE CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APPURTENANCES SHALL BE CONSIDERED TO BE INCLUDED WORK. ALTHOUGH NOT SPECIFICALLY NOTED OR SHOWN ON THE DRAWINGS, CONTACT ARCHITECT FOR VERIFICATION IF APPROPRIATE.

CLEANING UP: THE CONTRACTOR SHALL, AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND SHALL DISPOSE OF ALL WASTE MATERIALS PROPERLY.

MANUFACTURERS: ALL MATERIALS, EQUIPMENT AND FIXTURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

THE CONTRACTOR(S) SHALL NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. LARGER SCALE DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

THE CONTRACTOR SHALL, ONLY EMPLOY OR HIRE EMPLOYEES AND SUBCONTRACTORS THAT ARE LICENSED, INSURED AND ARE WELL QUALIFIED FOR THEIR PERTINENT FIELD OF WORK, THAT ARE OR HAVE LEGAL STATUS IN THE UNITED STATES.

SECTION 2: SITE REQUIREMENTS

GENERAL: CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE WORK INDICATED IN THIS SECTION AS INDICATED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO SITE PREPARATION, EXCAVATION, BACKFILLING AND REGRADING.

THE CONTRACTOR SHALL BE RESPONSIBLE TO STORE EARTH FROM EXCAVATION WORK NEEDED FOR REGRADING, AND FOR THE REMOVAL OF EXCESS, IF ANY, OR THE PROVISION AND PLACEMENT OF ADDITIONAL FILL. (SEE SITE PLAN) NEEDED TO ACCOMPLISH REGRADING AS INDICATED ON THE DRAWINGS.

THE CONTRACTOR SHALL STORE TOPSOIL FOR REUSE ON THE PREMISES AND PROVIDE ADDITIONAL TOPSOIL AS NECESSARY.

CLEANING OF SITE: CONTRACTOR SHALL REMOVE ANY ORGANIC DEBRIS, INCLUDING STUMPS, FROM AREAS TO BE COVERED BY BUILDINGS, WALKS, TERRACES, DRIVEWAYS, ETC., AND SHALL TAKE CARE NOT TO CLEAR IN EXCESS OF ANY REGULATED LIMIT ON CLEARING.

PROTECTION OF EXISTING PLANT MATERIAL: TREES, SHRUBS, ETC., DESIGNATED BY THE OWNER OR HIS REPRESENTATIVE, TO REMAIN SHALL BE FENCED AND PROTECTED PRIOR TO COMMENCEMENT OF CONSTRUCTION UNTIL FINISHED GRADING IS COMPLETE.

PLANT MATERIAL LOCATED IN THE CONSTRUCTION AREA TO BE SAVED SHALL BE RELOCATED FOR STORAGE AND/OR SUBSEQUENT TRANSPLANT, AND SHALL BE THE RESPONSIBILITY OF THE OWNER.

CONTRACTOR SHALL VERIFY THAT ALL PLANT MATERIAL TO BE SAVED HAS BEEN RELOCATED PRIOR TO BEGINNING CONSTRUCTION.

EXCAVATION: SHALL BE AT LEAST TO ELEVATIONS SHOWN ON THE DRAWINGS, PLUS SUFFICIENT SPACE TO PERMIT ERECTION OF FORMS AND INSPECTION OF FOUNDATIONS.

SEE ALSO: SECTION 3: CONCRETE

FILL REQUIRED TO REGRADE SITE TO WITHIN 8" OF THE TOP OF FOUNDATION, OR AS OTHERWISE INDICATED ON THE DRAWINGS, SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR.

NEW SANITARY SYSTEM: SHALL BE INSTALLED PER CODE, LOCATION AND SIZE AS INDICATED ON THE SURVEY.

REGRADING: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY REGRADE THE SITE TO DIRECT WATER RUN OFF AWAY FROM THE BUILDING. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ADJACENT PROPERTIES FROM INCREASED WATER DRAINAGE RESULTING FROM CONSTRUCTION.

SECTION 3: CONCRETE REQUIREMENTS

GENERAL: THIS SECTION PERTAINS TO ALL CONCRETE WORK AND RELATED ITEMS NECESSARY TO COMPLETE WORK SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED TO COMPLETE ALL WORK INDICATED ON THE DRAWINGS.

COMPRESSIVE STRENGTH OF ALL POURED CONCRETE SHALL BE MINIMUM OF 4,000 PSI AT 28 DAYS, WITH MATERIALS CONFORMING TO THE MOST RECENT ASTM STANDARDS AND ACI 318.

FOOTING FABRICATION: SHALL BE CAST IN PLACE CONTINUOUSLY POURED REINFORCED CONCRETE.

FOOTING WIDTH AND DEPTH SHALL BE SET BY FORMWORK. SIZES SHALL BE AS INDICATED ON THE DRAWINGS. MINIMUM THICKNESS OF ALL FOOTINGS SHALL BE 10". MINIMUM WIDTH OF ALL FOOTINGS SHALL BE 20".

2"x4" KEY LOCK SHALL BE FORMED AT TOP AND CENTER OF FOOTING TO RECEIVE POURED FOUNDATION WALL.

REINFORCING SHALL BE PROVIDED AS INDICATED ON THE DRAWINGS.

REFER ALSO TO SECTION 5: METAL

EXCAVATION FOR FOOTINGS: BOTTOMS OF FOOTINGS SHALL BE LEVEL, CLEAN AND CLEAR OF LOOSE MATERIALS AND WATER, AND SHALL BE OF UNDISTURBED EARTH, FREE FROM FROST, PROPERLY LEVELED AND TAMPED.

FOOTINGS AND FOUNDATIONS SHALL NOT BE PLACED ON FILL. ANY EXCESS CUT SHALL BE FILLED WITH CONCRETE AT CONTRACTOR'S EXPENSE. IN ALL LIFTS AS NECESSARY, TO 90% COMPACTION AS PER THE PROCTOR SCALE. ANY COMPACTION WORK SHALL BE CERTIFIED, WITH ORIGINAL CERTIFICATES DELIVERED TO THE OWNER AND COPIES TO THE ARCHITECT.

ALL FOUNDATION FOOTINGS SHALL BE MINIMUM OF 36" BELOW FINISHED GRADE REGARDLESS OF ELEVATIONS NOTED ON THE DRAWINGS, AND IN ALL INSTANCES EXTEND TO UNDISTURBED SOIL.

SUB-SURFACE CONDITIONS: AT THE BUILDING LOCATION ARE ASSUMED TO BE CLEAN SAND, WITH MINIMUM COMPRESSIVE CAPACITY OF 4000 PSI. SUBJECT TO VERIFICATION BY TEST HOLE AND SOIL COMPOSITION TABLE.

IN THE EVENT OF CLAY BEING UNEARTHED AT FOOTING LEVEL, FOOTING DEPTH SHALL BE INCREASED UNTIL FOOTINGS REST ON SAND.

FOOTING DESIGN MAY NEED TO BE REVISED IF OTHER THAN CLEAN SAND IS UNCOVERED AT THE FOOTING LEVEL. CONSULT WITH ARCHITECT IN THIS EVENT.

POURED CONCRETE FOUNDATION WALLS SHALL BE FORMED TO THICKNESS AND HEIGHT NOTED ON THE DRAWINGS. HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI. ALL POURED CONCRETE SHALL BE PROPERLY VIBRATED OR RODDED. TOP SURFACE SHALL BE TROWELED AND LEVEL.

VERTICAL SURFACES SHALL BE PLUMB AND CORNERS SQUARE.

ALL UTILITY SLEEVES AND OPENINGS FOR DUCTS, WINDOWS, VENTS, ETC., SHALL BE PROVIDED FOR BLOCK JOISTS FOR BEAM SEATS, STEM WALLS, ETC. SHALL BE PROVIDED.

ANCHOR BOLTS SHALL BE INSTALLED BY THE MASONRY CONTRACTOR AND SHALL BE 48" O.C. AND 12" FROM CORNERS.

REFER ALSO TO SECTION 5: METAL

FOUNDATION VENTS SHALL BE INSTALLED AT LOCATIONS INDICATED ON THE DRAWINGS AND SHALL BE VESTAL MODEL #H168, OR EQUIVALENT, 16"x8", STAMPED ALUMINUM VENT WITH SCREEN AND SHUTTER.

FORM REMOVAL: CARE SHALL BE TAKEN DURING REMOVAL OF FORMS TO NOT DAMAGE SURFACES OF CONCRETE.

FILL: SAND FILL UNDER POURED SLABS, IF REQUIRED, SHALL BE THOROUGHLY COMPACTED, CLEAN AND FREE OF DEBRIS.

WEATHER CONDITION: CONCRETE MAY BE POURED IN EXTREME TEMPERATURE OR WEATHER CONDITIONS ONLY WITH ADEQUATE THERMAL AND MOISTURE PROTECTION.

SECTION 4: BRICK, CONCRETE, MASONRY REQUIREMENTS

GENERAL: ALL WORK SHALL BE PLUMB, LEVEL AND TRUE. WORKMANSHIP SHALL BE FIRST CLASS. CONSTRUCTION LUMBER SHALL BE #2 OR BETTER DOUGLAS FIR/LARCH (NORTH), EXCEPT WHERE NOTED ON THE DRAWINGS.

ALL LUMBER DELIVERED TO THE SITE SHALL BEAR THE GRADE STAMP OF THE WESTERN WOOD PRODUCTS ASSOCIATION, OR OF ANOTHER APPROPRIATE AGENCY CERTIFIED BY THE AMERICAN LUMBER STANDARDS COMMITTEE BOARD OF REVIEW FOR THE INSPECTION AND GRADING OF UNTREATED LUMBER.

ALL WOOD FRAMING SHALL BE DONE IN ACCORDANCE WITH THE 2001 ANSI/ AF&PA WFCM 2001 WOOD FRAME CONSTRUCTION MANUAL.

NAILING: SEE SECTION 5: METAL

WALL FRAMING SHALL BE 2x6 WOOD STUDS AT EXTERIOR WALLS AND 2x4 OR 2x6 INDICATED ON THE DRAWINGS, SPACED AT 16" O.C. MAXIMUM, AND SHALL BE FULLY CATTED.

FLOOR JOISTS SHALL BE 11- 7/8" TJI SERIES 560 @ 16" O.C. OR AS NOTED ON DRAWINGS. TRIPLE UNDER BEARING WALL DOUBLED BANNER JOISTS, AS SHOWN ON DRAWINGS PROVIDED BY 'LIVEL'. ALL FLUSH WOOD CONNECTIONS SHALL BE FASTENED WITH RATED GALVANIZED METAL CONNECTORS BY 'SIMPSON STRONG TIE'.

SECTION 5: METAL REQUIREMENTS

ANCHOR BOLTS: FASTEN WOOD SILLS TO CONCRETE OR MASONRY WITH 1/2" DIAMETER X 18" LONG ANCHOR BOLTS, AT 4'-0" CENTER TO CENTER MAXIMUM, AND MAXIMUM 12" FROM CORNERS EACH WAY. PROVIDE A MINIMUM OF TWO (2) BOLTS PER LENGTH OF WOOD SILL.

FOUNDATION REINFORCEMENT: SHALL BE DEFORMED STEEL REINFORCING BARS INSTALLED AS INDICATED ON THE DRAWINGS, WITH MINIMUM CONCRETE COVER OF 2", UNLESS NOTED OTHERWISE.

FLASHING SHALL BE LEAD COATED COPPED (EXCEPT WHERE OTHERWISE NOTED) INSTALLED AT THE FOLLOWING LOCATIONS, INCLUDING BUT NOT LIMITED TO:

- DRIP FLASHING AT WINDOWS AND DOORS
- STEPPED FLASHING AT ROOF VALLEYS
- STEPPED FLASHING WHERE ROOF ABUTS EXTERIOR WALLS
- BOOT FLASHING AT EXTERIOR CANTILEVERS
- STEPPED FLASHING AT SHINGLES, COUNTERFLASHED WITH 1/2", LEAD THROUGH PAN FLASHING WHERE FIREPLACE CHIMNEY PASSES ROOF
- PAN FLASHING AT ALL WINDOWS AND EXTERIOR DOORS AS APPROPRIATE AT ALL ROOF PUNCTURES, VENTS, ETC. AND WHEREVER ELSE STANDARD PRACTICE DICTATES TO ADEQUATELY PROTECT STRUCTURE FROM WATER. ALL FLASHING SHALL BE INSTALLED OVER #15 BUILDING FELT.
- THROUGH PAN FLASHING SHALL BE INSTALLED WHERE FIREPLACE EMERGES FROM ROOF, AND SHALL BE CONTINUOUS MEMBRANE OF 1/2" LEAD FLASHING, TORCH SOLDERED, FLASHING SHALL EXTEND AS 3/4" DRIP EDGE INTO FLUE LINER AND SHALL EXTEND TO ALL EXTERIOR MASONRY SURFACES NOT ADJACENT TO STEP FLASHING AS 3/4" DRIP EDGE.

REFER ALSO TO SECTION 2 SITE-DRYWELLS

METAL CONNECTORS, INCLUDING BUT NOT LIMITED TO, JOIST HANGERS, WOOD POST BEARING CAPS AND PLATES, HURRICANE CLIPS, STRAPS, ETC., SHALL BE HEAVY DUTY GALVANIZED STEEL.

HURRICANE TIES TO BE INSTALLED PER CODE. SHALL BE FASTENED TO EVERY RAFTER, PLYWOOD SHEATHING SHALL EXTEND TO TOP OF RAFTER / WALL PLATE, WITH BASE OF TIES NAILED THROUGH SHEATHING INTO PLATES. HURRICANE TIES SHALL BE MANUFACTURED BY SIMPSON STRONG TIE, PART # H2.5.

HURRICANE STRAP TIES, INSTALLED PER CODE, SHALL BE INSTALLED ACROSS FIRST FLOOR JOIST LEVEL, EXTENDING 12" MINIMUM ABOVE WALL PLATE AND BE LAPPED UNDER FOUNDATION SILL PLATE. STRAP TIE SHALL BE LAPPED UNDER FOUNDATION SILL PLATE. STRAP TIE SHALL BE CONNECTED TO FOUNDATION ANCHOR BOLTS USING (3") 1" SQUARE WASHERS ON THE ANCHOR BOLTS.

RIDGE STRAPS, INSTALLED PER CODE, NOT REQUIRED DUE TO INSTALLATION OF 2x6 (MINIMUM) COLLAR TIES.

NAILING: ALL STRUCTURAL NAILING SHALL BE BY HAND. USE OF PNEUMATIC OR OTHER AUTOMATED NAILING DEVICES SHALL NOT BE PERMITTED FOR FRAMING OR ANY OTHER STRUCTURAL CONNECTION. NOTE: PNEUMATIC NAILING DEVICES MAY BE USED FOR NON STRUCTURAL OR DECORATIVE APPLICATIONS WHERE APPROPRIATE (IE: INTERIOR TRIM, ETC.).

THE STRUCTURAL STEEL FABRICATOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL. ERECTION OF STRUCTURAL STEEL SHALL NOT PROCEED UNTIL THE SHOP DRAWINGS HAVE BEEN APPROVED.

LALLY COLUMNS SHALL BE 4" OUTSIDE DIAMETER, SCHEDULE 40 STEEL PIPE (A53 TYPE E), WITH MINIMUM WELDED BEARING PLATES AT TOP AND BOTTOM. (SEE DETAIL S).

ALL STEEL BOLTED CONNECTIONS, SHALL CONFORM TO ASTM A325/ ALL WELDING SHALL COMPLY WITH AWS D1.1 WITH E70XX ELECTRODES.

ALL REINFORCING BARS SHALL COMPLY TO ASTM A615 GRADE 60.

WELDED WIRE MESH SHALL COMPLY WITH ASTM A 185.

MINIMUM BEARING AREA, FOR STEEL BEAMS AND COLUMNS ETC. ON CONCRETE WALLS ETC. SHALL NOT BE LESS THAN 16 SQUARE INCHES. BEARING PLATES SHALL BE FULLY BEDDED IN HIGH STRENGTH GROUT.

TERMITES: SHIELD S SHALL BE RATED ALUMINUM, AND SHALL BE INSTALLED BETWEEN FOUNDATION WALLS AND WOOD FRAMING.

SECTION 6: WOOD AND PLASTICS

GENERAL: ALL WORK SHALL BE PLUMB, LEVEL AND TRUE. WORKMANSHIP SHALL BE FIRST CLASS. CONSTRUCTION LUMBER SHALL BE #2 OR BETTER DOUGLAS FIR/LARCH (NORTH), EXCEPT WHERE NOTED ON THE DRAWINGS.

ALL LUMBER DELIVERED TO THE SITE SHALL BEAR THE GRADE STAMP OF THE WESTERN WOOD PRODUCTS ASSOCIATION, OR OF ANOTHER APPROPRIATE AGENCY CERTIFIED BY THE AMERICAN LUMBER STANDARDS COMMITTEE BOARD OF REVIEW FOR THE INSPECTION AND GRADING OF UNTREATED LUMBER.

ALL WOOD FRAMING SHALL BE DONE IN ACCORDANCE WITH THE 2001 ANSI/ AF&PA WFCM 2001 WOOD FRAME CONSTRUCTION MANUAL.

NAILING: SEE SECTION 5: METAL

WALL FRAMING SHALL BE 2x6 WOOD STUDS AT EXTERIOR WALLS AND 2x4 OR 2x6 AS INDICATED ON THE DRAWINGS, SPACED AT 16" O.C. MAXIMUM, AND SHALL BE FULLY CATTED.

FLOOR JOISTS SHALL BE 11- 7/8" TJI SERIES 560 @ 16" O.C. OR AS NOTED ON DRAWINGS. TRIPLE UNDER BEARING WALL DOUBLED BANNER JOISTS, AS SHOWN ON DRAWINGS PROVIDED BY 'LIVEL'. ALL FLUSH WOOD CONNECTIONS SHALL BE FASTENED WITH RATED GALVANIZED METAL CONNECTORS BY 'SIMPSON STRONG TIE'.

SECTION 7: THERMAL AND MOISTURE PROTECTION REQUIREMENTS

GENERAL: CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT TO COMPLETE THE WORK SHOWN ON THESE DRAWINGS, INCLUDING BUT NOT LIMITED TO:

- INSULATION
- ROOF SHINGLES
- WOOD SIDING
- METAL FLASHING
- CAULKING

INSULATION: SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH THE NEW INTERNATIONAL ENERGY CONSERVATION CODE:

- EXTERIOR WALLS: FIBERGLASS BATTS WITH VAPOR BARRIER (R-19)
- CEILINGS, ROOF: FIBERGLASS BATTS WITH VAPOR BARRIER (R-30)
- CANTILEVERS: FIBERGLASS BATTS WITH VAPOR BARRIER (R-19)
- FLOOR OVER CRAWLSPACE: FRICTION FIT BATTS (R-19) -OR AS NOTED ON DRAWINGS IN SPECIAL CASES.

INSULATION REQUIRED FOR 'HERS' RATING:

- R 38 IN FLOOR
- R 48 CELLULOSE ABOVE GARAGE
- R 30 IN VAULTED CEILINGS
- R 59 CELLULOSE (16") IN FLAT CEILINGS
- R 19 + 1/2" CLOSED CELL FLASHING WALLS

ROOF SHALL BE 30 YEAR ARCHITECTURAL ASPHALT SHINGLE BY 'TIMBERLINE', COLOR TO BE DETERMINED. SIDEWALLS SHALL BE 18" RED CEDAR PERFECTIONS WITH 5 1/2" EXPOSURE.

FLASHING: SHALL BE INSTALLED AS REQUIRED.

REFER ALSO TO SECTION 5: METAL

ROUGH OPENINGS AT WINDOW AND EXTERIOR DOOR JAMBS AND HEAD SHALL BE WRAPPED WITH #15 BUILDING FELT.

CAULKING: OF ALL EXTERIOR JOINTS SHALL BE AS STANDARD PRACTICE DICTATES, OR AS INDICATED ON THE DRAWINGS.

CAULK SHALL BE APPLIED ONLY TO DRY AND CLEAN SURFACES, FREE OF DUST, DIRT AND MOISTURE. ALL CAULKING SHALL BE APPLIED BY AN EXPERIENCED MECHANIC. CAULKING COMPOUNDS USED SHALL BE SUITABLE FOR THE PURPOSE INTENDED AND SHALL BE OF THE HIGHEST QUALITY AVAILABLE.

BUTYMOINOUS DAMP-PROOFING: TO BE APPLIED TO EXTERIOR OF ALL NEW FOUNDATION WALLS AFTER FORMWORK HAS BEEN REMOVED AND PRIOR TO BACKFILLING.

INSTALL NEW HALF-ROUND ALUMINUM GUTTERS AND LEADERS. INSTALL GUTTER STRAPS UNDER ROOF SHINGLES.

NEW LEADERS TO BE PIPED TO NEW DRYWELLS. DRYWELL LOCATIONS TO BE SITE DETERMINED.

RAFTER VENTS: ATTIC RAFTER VENTS TO BE 'RAFT RMATE' ATTIC RAFTER VENTS BY 'OWENS CORNING'. INSTALL TO MEET MANUFACTURERS SPECIFICATIONS.

GABLE END VENTS: CEDAR VENT BY 'WEBB' RECT 1016' OR UNLESS NOTED OTHERWISE FOR SIZE.

SECTION 8: DOORS AND WINDOWS REQUIREMENTS

GENERAL: CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT TO COMPLETE THE WORK SHOWN ON THESE DRAWINGS, INCLUDING BUT NOT LIMITED TO:

- INSTALLATION OF DOORS AND WINDOWS
- HANGING OF SPECIAL DOORS
- HARDWARE
- SCREENS

INTERIOR DOORS: NEW INTERIOR DOORS SHALL BE BY "SIMPSON" #B2, TO BE PAINTED, FINAL DOOR AND PAINT COLOR T.B.D. BY OWNER

HARDWARE AT INTERIOR DOORS: SHALL BE DETERMINED BY OWNER. CONTRACTOR TO INSTALL.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECT CODE AND INSTALLATION OF JAMBS AND FOR HANGING OF ALL DOORS NOT AVAILABLE PRE-HUNG.

ALL DOORS SHALL BE INSTALLED PLUMB AND LEVEL, AND APPLICABLE RULES AND REGULATIONS, AND AS INDICATED ADDITIONALLY ON THE DRAWINGS.

NEW WINDOWS: SHALL BE BY MARVIN, SUPPLIED AND INSTALLED AS INDICATED ON THE FLOOR PLANS AND ELEVATIONS. SEE WINDOW SCHEDULE.

REFER ALSO TO SECTION 5: METAL PAN FLASHING

REFER ALSO TO SECTION 7: THERMAL AND MOISTURE

HARDWARE AT EXTERIOR DOORS: SHALL BE SUPPLIED AND INSTALLED AS INDICATED ON THE WINDOW AND DOOR SCHEDULE.

TEMPERED GLASS: SHALL BE INSTALLED BY THE CONTRACTOR IN STRICTEST ACCORD WITH ANY APPLICABLE RULES AND REGULATIONS, AND AS INDICATED ADDITIONALLY ON THE DRAWINGS.

LITE ARRANGEMENTS: ALL EXTERIOR DOOR AND WINDOW UNITS SHALL BE ARRANGED AS INDICATED ON THE WINDOW AND EXTERIOR DOOR SCHEDULE, AND AS SHOWN ON THE DRAWINGS.

INTERIOR FINISH: ON ALL DOORS AND WINDOWS SHALL BE PAINTED WOOD. INTERIOR TRIM SHALL BE AS INDICATED ON THE INTERIOR FINISH SHEET.

INSTALL ANDERSEN 2820 UTILITY WINDOWS WITH STEEL SPLIT BUICKS, LOCATIONS AS INDICATED ON THE FOUNDATION PLAN.

ALL WINDOWS AND DOORS SHALL BE PROVIDE WITH 1/2" EXTERIOR GRADE PLYWOOD SHEATHING PANEL. EACH PANEL SHALL BE PRE-DRILLED, NUMBERED AND STORED WITH THE APPROPRIATE NUMBER OF SCREWS ATTACHED TO EACH PANEL, AS PER NEW YORK STATE CODE. SEE PRESCRIPTIVE DESIGN SHEET FOR DETAILS.

SECTION 9: FINISHES REQUIREMENTS

GENERAL: CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT TO COMPLETE THE WORK SHOWN ON THESE DRAWINGS, INCLUDING BUT NOT LIMITED TO:

- GYPSUM WALLBOARD
- TAPING AND SPACKLING
- TILE FLOORS
- WOOD FLOORING
- CERAMIC TILE
- WOOD CASINGS AND MOULDINGS
- PAINTING AND STAINING

GYPSUM WALLBOARD: WALLS AND CEILINGS SHALL BE FINISHED WITH 1/2" GYPSUM WALLBOARD, EXCEPT WHERE NOTED OTHERWISE. GYPSUM WALLBOARD IN BATHROOM SHALL BE WATER RESISTANT.

TYPE 1/2" WALLBOARD SHALL BE INSTALLED AT MECHANICAL AREAS AS REQUIRED BY CODE.

SPACKLING AND TAPING: ALL GYPSUM WALLBOARD SHALL BE TAPED, SPACKLED AND READY TO PAINT, WHICH SHALL BE EXECUTED BY EXPERIENCED AND CAPABLE MECHANICS. MATERIALS AND WORKMANSHIP SHALL BE THE BEST OF THEIR KIND.

CERAMIC TILE: SHALL BE DETERMINED AND SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR IN SPACES AS INDICATED ON THE DRAWINGS AND WALLS IN GUEST BATHROOM. TILE TO BE INSTALLED IN THIN SET.

ALL SHOWER PANS TO BE CUSTOM VINYL PAN WITH MUD SET AND TILE FLOOR PITCHED AS REQUIRED TO DRAIN.

ALL BATHROOM ACCESSORIES: SHALL BE SUPPLIED BY OWNER AND INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLUMBING FIXTURE AND FITTING SCHEDULE AND LOCATIONS BY CLIENT.

INTERIOR STAIR:

- USE L.J. SMITH STAIR PARTS FOR MAIN STAIR:
- LJ-6010 HANDRAIL (OVER THE POST) (PAINTED)
- LJ-5300 BALUSTER (PAINTED)
- LJ-4010 UTILITY NEWEL (PAINTED)
- SH-7035 RIGHT HAND VOLUTE (PAINTED)
- OTHER PARTS AS REQUIRED
- NO 1 WHITE OAK TREADS (STAINED) (TO MATCH FLOOR)
- CLEAR PINE RISERS (PAINTED)

BASEMENT STAIR:

- TREADS: TO MATCH FLOOR, RISERS AND STRINGER HANDRAIL TO BE B.S. PROFILE #28131 FIR WITH WALL MOUNT HARDWARE.
- ATTIC STAIR:
- SHALL BE BY 'MARVIN' OR EQUIV. MODEL TO BE 'ENERGY SAVER INSULATING PACKAGE'.
- GROUT: COLOR SHALL BE CHOSEN BY THE OWNER.
- PAINTING: CONTRACTOR SHALL SUPPLY LABOR, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE COMPLETELY THE PAINTING AND STAINING ON INTERIOR AND EXTERIOR SURFACES.
- SURFACES SHALL NOT BE PAINTED UNLESS THEY ARE IN PROPER CONDITION FOR FINISHING. PAINTING OR FINISHING OF ANY SURFACE WILL BE CONSIDERED IN ACCEPTANCE OF THAT SURFACE BY THE PAINTING CONTRACTOR.
- ALL PAINTS SHALL BE MANUFACTURED BY BENJAMIN MOORE. ALL COLORS, PAINT TYPE AND FINISH SHALL BE AS INDICATED ON THE ATTACHED PAINT SCHEDULE. SEE ATTACHMENT.
- GYPSUM WALLBOARD SHALL BE PAINTED WITH (1) COAT OF LATEX PRIMER AND (2) FINISH COATS (MINIMUM OF FLAT LATEX PAINT.
- SPRAY APPLICATION: OF PAINT SHALL NOT BE PERMITTED. ALL PAINT SHALL BE APPLIED BY BRUSH OR ROLLER, AS APPROPRIATE FOR THE SURFACE TO BE PAINTED.

SECTION 10: SPECIALTIES

CLOSETS: CONTRACTOR SHALL INSTALL WOOD HANGING BARS AND ONE (1) 1x12 SHELF IN ALL CLOSETS, UNLESS OTHERWISE NOTED OTHERWISE.

LINE AND CLOSING: CONTRACTOR SHALL INSTALL (5) FIVE ADJUSTABLE SHELVES (2" O.C.). SHELVES SHALL BE 3/4" BIRCH VENEER PLYWOOD WITH 1X PINE NOSING.

PANTRY: CONTRACTOR SHALL INSTALL (6) SIX ADJUSTABLE SHELVES (2" O.C.). SHELVES SHALL BE 3/4" BIRCH VENEER PLYWOOD WITH 1X PINE NOSING.

WOOD FLOORING: SHALL BE 1X4 SELECT OAK. FLOORS SHALL BE SANDED AND FINISHED WITH (3) THREE COATS OF POLYURETHANE (APPLIED TO MANUFACTURER'S SPECIFICATIONS). FINISH TO BE DETERMINED BY OWNER.

NEW BOOKSHELVES: SHALL BE DOUBLE LAYER 3/4" BIRCH VENEER PLYWOOD STILES AND RAILS WITH 1X AS REQUIRED PINE FACE. SHELVES TO BE PAINTED. DEPTHS AS INDICATED ON THE FLOOR PLAN.

SECTION 11: EQUIPMENT

SECTION 12: FURNISHINGS

SECTION 13: SPECIAL CONSTRUCTION

SECTION 14: CONVEYING SYSTEMS

SECTION 15: MECHANICAL

REFER ALSO TO SECTION 1: GENERAL REQUIREMENTS

GENERAL: CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL EQUIPMENT, FIXTURES AND FITTINGS AND OTHER MECHANICAL EQUIPMENT AS SHOWN ON THE DRAWINGS.

CODES AND REGULATIONS: ALL MECHANICAL, PLUMBING AND RELATED EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE NATIONAL, STATE, COUNTY, LOCAL, CODES AND REGULATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

HVAC: MECHANICAL CONTRACTOR SHALL SUPPLY A PROPOSED HVAC LAYOUT AND COMPLETE HVAC SPECIFICATION TO THE ARCHITECT FOR REVIEW.

HEATING AND HOT WATER: INSTALLATION OF ALL HVAC AND WATER HEATING EQUIPMENT SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND ALL APPLICABLE CODES. HEATING SYSTEM SHALL USE CENTRAL OIL FIRED BOILER WITH ALL SUPPLY AND RETURN ZONES ORIGINATED FROM MECHANICAL AREAS INDICATED ON THE DRAWINGS.

HEATING SYSTEM: SHALL BE CAPABLE OF HEATING THE SPACES UNIFORMLY TO 72 DEGREES F. (AT FOUR FEET ABOVE FINISHED FLOOR) AGAINST 98 DEGREES F. OUTSIDE TEMPERATURE WITH 15 M.P.H. WIND.

AIR CONDITIONING EQUIPMENT: SHALL BE CAPABLE OF COOLING THE SPACES TO 70 DEGREES F. (AT FOUR FEET ABOVE FINISHED FLOOR) AGAINST 98 DEGREES F. OUTSIDE TEMPERATURE.

DUCTWORK: SUPPLY AND INSTALL ANY REQUIRED DUCTWORK IN ACCORDANCE WITH SMACNA STANDARDS FOR COOLING ONLY.

PRIMARY DUCTS, SHALL BE BREAK-FORMED SHEET METAL WITH ACOUSTICAL LINER.

"FLEXDUCT": MAY BE INSTALLED TO INDIVIDUAL REGISTERS, PROVIDED THAT EFFECTIVE CROSS SECTIONAL AREA IS NOT REDUCED BY BENDING OR OTHER DEFORMATION (I.E. "CRIMPING").

SUPPLY GRILLES SHALL BE HART & COOLEY, DIRECTIONAL AS APPROPRIATE, WITH 1" DAMPER.

RETURN GRILLES SHALL BE HART & COOLEY RH45 SERIES, SIZED FOR AIR VELOCITY OF 400 FEET PER MINUTE OR LESS.

CAST IRON WASTE PIPE SHALL BE USED IN ALL DROPS FROM SECOND FLOOR TO BASEMENT.

PLUMBING FIXTURES AND FITTINGS: SHALL BE SUPPLIED BY OWNER AND INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLUMBING FIXTURE AND FITTING SCHEDULE.

ANTISCALD: AND/OR THERMAL SHOCK PREVENTING DEVICE SHALL BE INSTALLED IN THE PRIMARY WATER SUPPLY TO PROVIDE A REASONABLY SAFE DEGREE OF CONTROL FROM EXCESSIVELY HIGH WATER TEMPERATURES FOR THE ENTIRE SYSTEM. THE DEVICE SHALL BE OF PRESSURE BALANCING, THERMOSTATIC MIXING, OR COMBINATION PRESSURE.

BALANCING/THERMOSTATIC MIXING TYPES CONFORMING TO REFERENCE STANDARD RS 33.25. THE DEVICE SHALL BE MANUFACTURED BY LAWLER. (SEE NEW YORK STATE UNIFORM BUILDING AND FIRE PREVENTION CODE, SECTION 1250.3).

HEATING SYSTEM: NEW DIRECT VENT GAS BOILER BY 'WELL-McCLANE OR EQUIVALENT.

BOILER TO BE SIZED TO ADEQUATELY SERVICE HOUSE AND WATER HEATER.

DOMESTIC HOT WATER: INSTALL NEW TANKLESS, ON DEMAND WATER HEATER BY 'RHEIM OR RINNAI' SIZED TO ADEQUATELY SERVICE HOUSE.

INSTALL NEW FAN COIL UNITS, AS REQUIRED, LOCATED AS REQUIRED AND SIZED AS REQUIRED TO SERVICE PROPOSED SPACES, TO PROVIDE HEAT AND AIR CONDITIONING THROUGH NEW DUCTWORK.

EXTERIOR COMPRESSORS TO BE LOCATED AS REQUIRED, LOCATION AND NUMBER OF UNITS TO BE APPROVED BY ARCHITECT.

UNITS TO BE ZONED AS PER OWNERS REQUEST.

INSTALL NEW RADIANT HEAT TUBING IN MASTER BATHROOM.

TEMPERATOR



CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
45	120	A,B	SEVERE	32" (TOP)	M to H	S to M	11	YES	1984/1998

ROOF SHEATHING FASTENING SCHEDULE (ASPHALT SHINGLES)

REGION	NAILS	PANEL LOCATION	ROOF FASTENING ZONE		
			1	2	3
			FASTENING SCHEDULE (inches on center)		
HIGH WIND UPLIFT	8d COMMON	PANEL EDGES	6	6	4
		PANEL FIELD	6	6	6
INTERMEDIATE UPLIFT	8d COMMON	PANEL EDGES	6	6	4
		PANEL FIELD	12	6	6
BASIC UPLIFT	8d COMMON	PANEL EDGES	6	6	6
		PANEL FIELD	12	12	12

NOTES:  
LINES PROJECTED FROM:  
4'-0" FROM EACH SIDE OF RIDGE  
4'-0" FROM SOFFIT ENDS  
5'-0" FROM GABLE ENDS

WOOD STRUCTURAL PANEL SHEATHING OR SIDING USED FOR UPLIFT RESISTANCE:

1. PANELS SHALL BE OF THE MINIMUM THICKNESS REQUIRED FOR THE SHEARWALL BUT NOT LESS THAN 1 5/8".

2. PANELS SHALL BE INSTALLED WITH FACE GRAIN PARALLEL TO STUDS.

3. ALL HORIZONTAL JOINTS SHALL OCCUR OVER FRAMING.

4. ON SINGLE STORY CONSTRUCTION, PANELS SHALL BE ATTACHED TO BOTTOM PLATES AND TOP MEMBER OF THE DOUBLE TOP PLATE. LOWEST PLATE SHALL BE ATTACHED TO FOUNDATION WITH BOLTS OR CONNECTORS OF SUFFICIENT CAPACITY TO RESIST THE UPLIFT FORCES DEVELOPED IN THE WOOD STRUCTURAL PANEL SHEATHED OR SIDED WALLS.

5. ON TWO STORY CONSTRUCTION, UPPER PANELS SHALL BE ATTACHED TO THE TOP MEMBER OF THE UPPER DOUBLE TOP PLATE AND TO BAND JOIST AT BOTTOM OF PANEL. UPPER ATTACHMENT OF LOWER PANEL SHALL BE MADE TO BAND JOIST AND LOWER ATTACHMENT MADE TO LOWEST PLATE AT FIRST FLOOR FRAMING. LOWEST PLATE OF FIRST FLOOR FRAMING SHALL BE ATTACHED TO FOUNDATION WITH BOLTS OR CONNECTORS OF SUFFICIENT CAPACITY TO RESIST THE UPLIFT FORCES DEVELOPED IN THE WOOD STRUCTURAL PANEL SHEATHED OR SIDED WALLS.

6. WHERE WINDOWS AND DOORS INTERRUPT WOOD STRUCTURAL PANEL SHEATHING OR SIDING, FRAMING ANCHORS OR CONNECTORS SHALL BE USED TO RESIST THE APPROPRIATE UPLIFT LOADS.

7. PANEL ATTACHMENT TO FRAMING SHALL BE:

- 6" O.C. (VERT.) WITHIN PANEL FIELD
- 3" O.C. AT EDGES
- USING 6d COMMON NAIL AT SUBFLOOR AND WALLS
- 8d COMMON NAIL AT ROOF

MAXIMUM UNIFORMLY DISTRIBUTED LIVE LOADS

USE	LIVE LOAD (PSF)
EXTERIOR BALCONIES	60
DECKS	40
PASSENGER VEHICLE GARAGE	50 <sup>a</sup>
ATTICS WITHOUT STORAGE	10
ATTICS WITH STORAGE	20
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40 <sup>c</sup>
GUARDRAILS AND HANDRAILS	200

a. ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2,000 POUND LOAD APPLIED OVER A 20 SQUARE INCH AREA.

b. NO STORAGE WITH ROOF SLOPE NOT OVER 3 UNITS IN 12 UNITS.

c. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES THE GREATER STRESSES.

d. A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

e. ATTICS CONSTRUCTED WITH WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH SECTION R802.10.1.

f. SEE SECTION R502.2.1 FOR DECKS ATTACHED TO EXTERIOR WALLS.

WIND BORNE DEBRIS PROTECTION:

FASTENER SPACING

ASTENER TYPE	PANEL SPAN < 4 FEET	4 FEET > PANEL SPAN < 8 FEET	8 FEET > PANEL SPAN < 12 FEET
2 1/2" #6 WOOD SCREWS	16"	12"	9"
2 1/2" #8 WOOD SCREWS	16"	16"	12"

NOTES:  
ALL PANELS SHALL BE PREDRILLED, NUMBERED AND STORED WITH THE APPROPRIATE NUMBER OF SCREWS ATTACHED TO THE PANEL.

WINDOW ELEVATION  
11/2"-1 1/2"

WINDOW HEAD DETAIL  
11/2"-1 1/2"

WINDOW JAMB DETAIL  
11/2"-1 1/2"

WINDOW SILL DETAIL  
11/2"-1 1/2"

EXTERIOR FOUNDATION, WALL, SECOND STORY WALL, RAFTER AND RIDGE STRAPPING:

1. HURRICANE TIES TO BE INSTALLED PER CODE. SHALL BE FASTENED TO EVERY RAFTER, PLYWOOD SHEATHING SHALL EXTEND TO TOP OF WALL PLATE, WITH BASE OF TIES NAILED THROUGH SHEATHING INTO PLATES. HURRICANE TIES SHALL BE MANUFACTURED BY SIMPSON STRONG TIE, # H2.5.

2. HURRICANE STRAP TIES TO BE INSTALLED PER CODE, SHALL BE INSTALLED ACROSS SECOND FLOOR JOIST LEVEL, EXTENDING 12" MIN. ABOVE AND BELOW WALL PLATES AND NAILED INTO WALL STUDS THROUGH SHEATHING. STRAPS SHALL BE MANUFACTURED BY SIMPSON, SIZED, SPACED AND FASTENED AS PER CODE REQUIREMENTS.

3. HURRICANE STRAP TIES TO BE INSTALLED PER CODE, SHALL BE INSTALLED ACROSS FIRST FLOOR JOIST LEVEL, EXTENDING 12" MIN. ABOVE WALL BASE PLATE AND BE LAPPED UNDER FOUNDATION SILL PLATE. STRAP TIE SHALL BE CONNECTED TO FOUNDATION ANCHOR BOLTS USING (3) 1" SQUARE WASHERS ON THE ANCHOR BOLTS.

4. RIDGE STRAPS, INSTALLED PER CODE, NOT REQUIRED DUE TO INSTALLATION OF 2 X 6 (MIN) COLLAR TIES.

5. SOLID BLOCKING UNDER ALL PARTITIONS (TYP)

HOLDDOWN BRACKETS AT SHEARWALLS AND WINDOW/ DOOR OPENINGS:

1. HOLD DOWN BRACKETS TO BE INSTALLED PER CODE, SHALL BE FASTENED AT ALL SHEARWALLS AND WINDOW/ DOOR OPENINGS WITHIN THE SHEARWALL. HOLD DOWN BRACKETS SHALL BE FASTENED TO CORNER WALL STUDS AND FOUNDATION WITH HOLD DOWN BRACKETS MANUFACTURED BY SIMPSON STRONG TIE, # PHD5.

2. HOLD DOWN BRACKETS SHALL BE INSTALLED OVER SECOND FLOOR FRAMING WITH ONE BRACKET INSTALLED AT TOP PLATE OF FIRST FLOOR AND CONNECTED TO A SECOND BRACKET INSTALLED AT SECOND FLOOR BOTTOM PLATE. BOLTED TOGETHER THROUGH FLOOR ASSEMBLY AND FASTENED TO CORNER WALL STUDS PER CODE REQUIREMENTS.

3. FOLLOW SAME PROCEDURE AT WINDOW AND DOOR OPENINGS LOCATED WITHIN SHEAR WALL.

4. FOLLOW MANUFACTURERS AND CODE INSTRUCTIONS FOR CORRECT INSTALLATION.

WINDOW AND DOOR STRAPPING:

1. HURRICANE STRAP TIES AND HOLD DOWN BRACKETS TO BE INSTALLED PER CODE, SHALL BE INSTALLED AT ALL OPENINGS. HOLD DOWN BRACKETS TO BE INSTALLED AT BOTTOM PLATE OF THE WALL AND SECURED TO THE KING STUDS OF THE OPENINGS. HOLD DOWN BRACKETS SHALL BE MANUFACTURED BY SIMPSON STRONG TIE, # PHD5. BRACKETS TO BE SECURELY FASTENED TO FOUNDATION AND STUD WALL PER CODE AND MANUFACTURERS REQUIREMENTS.

HURRICANE STRAP TIES TO BE INSTALLED ACROSS WINDOW/ DOOR HEADERS INTO TOP PLATE OF WALL. STRAPS SHALL BE MANUFACTURED BY SIMPSON STRONG TIE, SIZED, SPACED AND FASTENED AS PER CODE REQUIREMENTS.

GABLE END WALL BRACING:

1. INSTALL 2X6 STRONG BACK ACROSS CEILING JOISTS. (CONTINUOUS BETWEEN GABLE ENDS)

ATTACH AS REQUIRED BY CODE 3-10d COMMON NAILS

2. ATTACH 2X6 DIAGONAL BRACE AT 45 DEGREE ANGLE TO END GABLE WALL UNDER RIDGE AND TO 2X6 STRONG BACK.

ATTACH AS REQUIRED BY CODE 3-10d COMMON NAILS

DIAGONAL BRACE CAN ALSO BE INSTALLED DIRECTLY TO RIDGE AT END GABLE, IF SUFFICIENT SPACE IS NOT AVAILABLE.

ENDWALL FLOOR BRACING:

1. BRACE FLOOR IN TWO END BAYS WITH SOLID BLOCKING @ 48" O.C.

SIZED TO MATCH FLOOR JOISTS.

ATTACH AS REQUIRED BY CODE 4-10d COMMON NAILS

JOIST END ROTATION:

1. BRACE ALL ENDS OF FLOOR JOISTS AGAINST ROTATION WITH SOLID BLOCKING SIZED TO MATCH FLOOR JOISTS.

ATTACH AS REQUIRED BY CODE 4-10d COMMON NAILS

FRONT VIEW  
SCALE: 1" = 1'-0"

TOP VIEW  
SCALE: 1" = 1'-0"

DETAIL #5  
SCALE: 1" = 1'-0"

BRUCE A.T. SISKAA ARCHITECT  
61N. MAIN STREET  
EAST HAMPTON, NY 11937  
T 631.324.1791  
F 631.324.1695

PROPOSED RESIDENCE  
FOR  
SHERMAN  
PRAGER  
62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

NOTES:  
S.C.T.M. NO. 300-187.1-2  
ZONING AREA: 'B' RESIDENCE  
LOT AREA: 22,582.0 SQ.FT.

ALLOWABLE LOT COVERAGE:  
ACTUAL LOT COVERAGE

OWNERSHIP AND USE OF DOCUMENTS.  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF BRUCE A.T. SISKAA ARCHITECT.

©COPYRIGHT 2005, BRUCE A.T. SISKAA ARCHITECT. ALL RIGHTS RESERVED.

REVISIONS

NO.	DATE	DESCRIPTION
7.26.10	ISSUED FOR BID	

PRESCRIPTIVE  
DESIGN

SCALE:  
1/4" = 1'-0"

DATE:

DRAWING BY:  
BATS

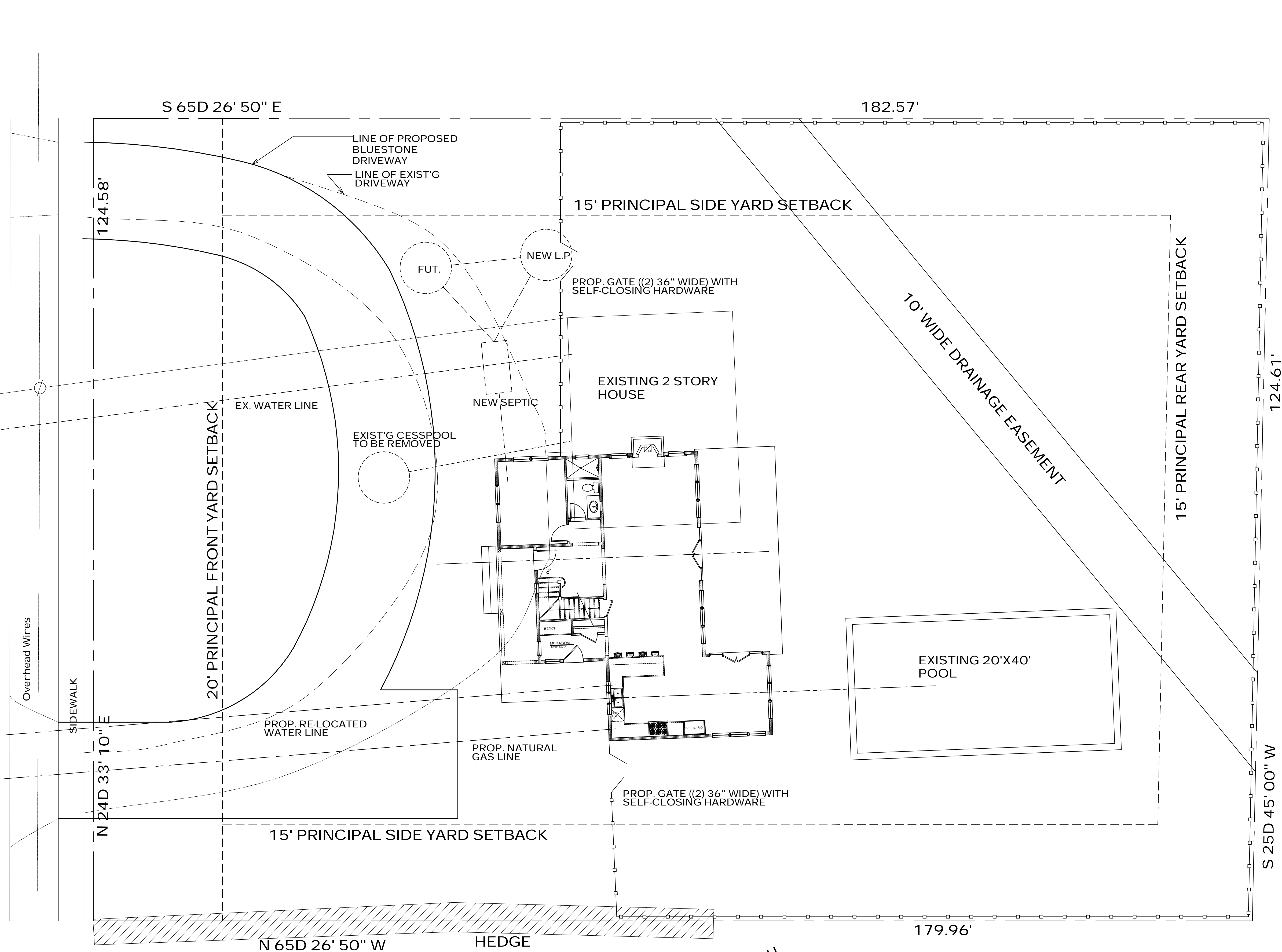
JOB NO.:  
0001

G1.02

PDF created with pdfFactory trial version [www.pdffactory.com](http://www.pdffactory.com)



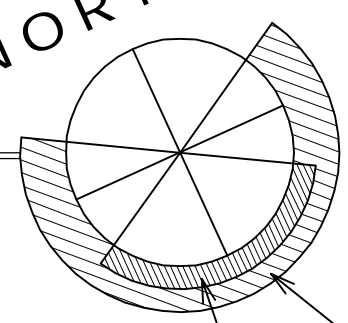
OSBORNE LANE



## SITE PLAN

SCALE : 1/8" = 1'-0"

NORTH



SUMMER SUN  
WINTER SUN

### COVERAGE CALCULATIONS:

	EXISTING S.F.	PROPOSED S.F.
HOUSE	854.5	1199.3
POOL HOUSE		
POOL	800.0	800.0
GARAGE		
DECK / PORCH	494.0	605.3
BRICK WALKWAYS	104.0	
POOL DECK		
CELLAR ENTRANCE		
CONC. WALK		
EXT. STAIRS		
EXT. SHOWER		
POOL COPING	124.0	124.0
TOTAL	2,376.5	2,728.6

ALLOWABLE BUILDING COVERAGE = 4,516.4 SQ.FT.  
LOT AREA: 22,582.0 SF  
ALLOWABLE: 22,582.0 SF X 20% = 4,516.4 SQ.FT.  
EXISTING BUILDING COVERAGE: 1,348.5 SF  
PROPOSED BUILDING COVERAGE: 1,804.6 SQ.FT.  
ALLOWABLE LOT COVERAGE = 12,193.3 SQ.FT.  
LOT AREA: 22,582.0 SF  
ALLOWABLE: 22,582.0 SF X 50% = 12,193.3 SQ.FT.  
EXISTING LOT COVERAGE: 2,376.5 SF  
PROPOSED LOT COVERAGE: 2,728.6 SQ.FT.

SQUARE FOOTAGE CALCULATIONS:  
EXISTING G.F.A. 1,709.00 SQ.FT.  
PROPOSED G.F.A. 2,115.6 SQ.FT.

PRINCIPAL STRUCTURE G.F.A. MAXIMUM:  
(12% X 22,582.00 + 1,650) = 4,309.84 SQ. FT.  
2,115.60 < 4,309.84 OK

BRUCE A.T. SISKAA  
ARCHITECT-PLLC  
61N. MAIN STREET  
EAST HAMPTON, NY 11937  
T 631.324.1791  
F 631.324.1695

PROPOSED RESIDENCE  
FOR  
**SHERMAN  
PRAGER**

62 OSBORNE LANE  
EAST HAMPTON, NY 11937  
TOWN OF EAST HAMPTON

NOTES:  
S.C.T.M. NO. 300-187-1-2  
ZONING AREA: 'B' RESIDENCE  
LOT AREA: 22,582.0 SQ.FT.

ALLOWABLE LOT COVERAGE:  
ACTUAL LOT COVERAGE

SOLID BLOCK UNDER ALL BEARING  
WALL PARTITIONS  
(2) 1-3/4" X 1-1/2" (MIN) HEADER AT  
WINDOWS AND DOORS  
TRIPLE 2X4, 2X6 POSTS UNDER ALL  
HEADERS  
TJI FLOOR JOISTS TO BE INSTALLED IN  
STRICT ACCORDANCE WITH  
MANUFACTURERS SPECIFICATIONS

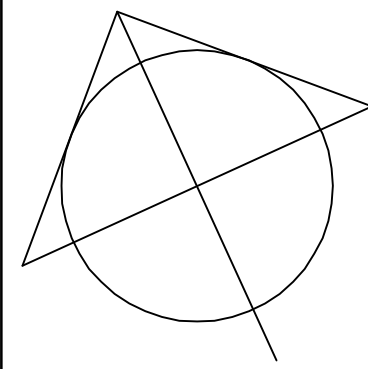
OWNERSHIP AND USE OF DOCUMENTS:  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL  
SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.  
THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY  
OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE  
PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN  
AUTHORIZATION OF BRUCE A.T. SISKAA ARCHITECT PLLC.

©COPYRIGHT 2007, BRUCE A.T. SISKAA ARCHITECT PLLC.  
ALL RIGHTS RESERVED.

ERRORS OR OMISSIONS IN THE DRAWINGS WHICH ARE CLEARLY  
NECESSARY FOR THE COMPLETION OF THE WORK OR ITS  
APPROPRIATENESS SHALL BE CONSIDERED TO BE INCLUDED WORK.  
ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS,  
CONTACT ARCHITECT FOR VERIFICATION IF APPROPRIATE.

### REVISIONS

8.9.10	REVISED FOR WATER SERVICE
7.26.10	ISSUED FOR BID



## PROPOSED SITE PLAN PLAN

SCALE:  
1/8" = 1'-0"

DATE:

DRAWING BY:  
BATS

JOB NO.:  
0001

SP.01