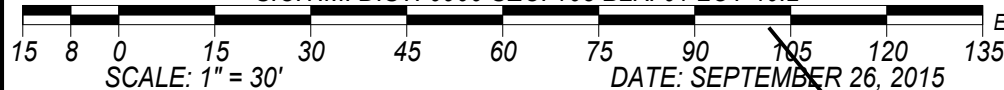


# SURVEY OF LOT 10 MAP OF BRIDGEHAMPTON ESTATES SITUATE AT MECOX

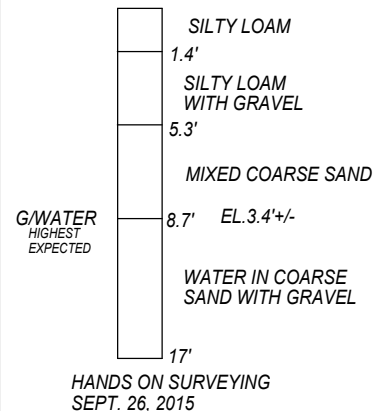
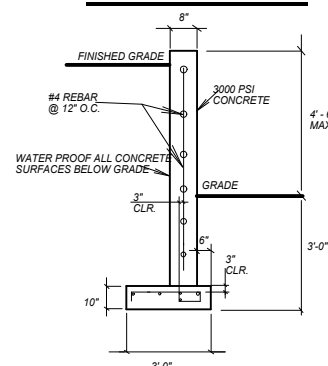
TOWN OF SOUTHAMPTON  
SUFFOLK COUNTY, NEW YORK

S.C.T.M. DIST. 0900 SEC. 103 BLK. 01 LOT 40.2



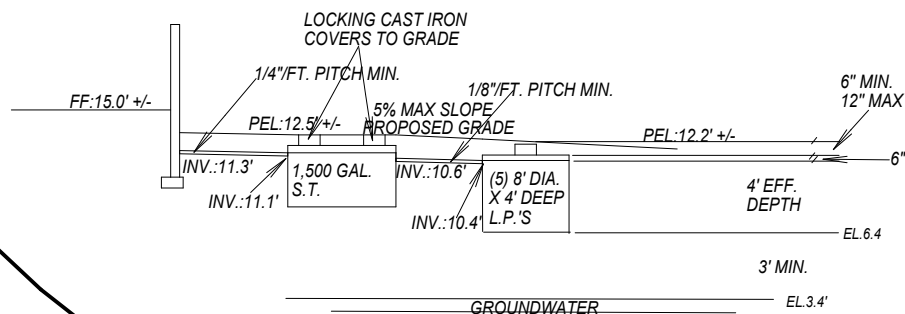
TEST HOLE  
TOP EL. 12.1' +/-

## CONCRETE RETAINING WALL CROSS SECTION



SANITARY RETAINING WALL DESIGN  
KATHLEEN M. HAND, P.E.  
LIC. NO. 072806

## PROPOSED SANITARY SYSTEM CROSS SECTION



LOT AREA: 12,500 SQ.FT. = 0.287 ACRE  
CURRENT ZONING: R-15 AGRICULTURAL OVERLAY DISTRICT  
STORMWATER MANAGEMENT ZONE  
ELEVATIONS HEREON REFER TO APPROX. NAVD 1988  
CALF CREEK IS APPROX. 240' EAST OF SUBJECT PROPERTY.

ALL LOTS WITHIN 150' OF PROPERTY ARE IMPROVED  
AND SERVICED BY PUBLIC WATER  
UNLESS OTHERWISE NOTED

EXISTING SANITARY SYSTEM TO BE PUMPED CLEAN, REMOVED,  
AND BACKFILLED WITH CLEAN SAND IN ACCORDANCE WITH  
SCDHS STANDARDS

EXISTING WATER LINE TO BE REMOVED

EXISTING DWELLING TO BE DEMOLISHED

ALLOWABLE LOT COVERAGE: 2,500 SQ.FT. = 20 %  
PROPOSED LOT COVERAGE: 2,450 SQ.FT. = 19.6 %

PRIMARY REAR YARD AREA : 3,750 SQ.FT.  
( 0.3 X 125'(LOT DEPTH) = REAR SETBACK OF 37.5'  
ALLOWABLE ACCESSORY COV. IN PRIMARY REAR YARD :  
750 SQ.FT. = 20 %  
PROPOSED ACC.COV. IN REAR YARD:  
558 SQ.FT. = 14.9 %

PROPOSED IMPROVEMENTS DEPICTED ON THIS MAP ARE  
BASED ON APPROXIMATE DIMENSIONS DERIVED FROM  
CLIENT'S DESIGN AND/OR SITE PLAN. THE PROPOSED IMPROVEMENTS  
ARE SHOWN AS AN ACCOMODATION TO THE CLIENT AND NO  
RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR CHECKING  
THE COMPLIANCE OF THE PROPOSAL WITH ZONING OR OTHER  
REGULATIONS.

CERTIFIED TO: JONATHAN CRANIN  
ILENE CRANIN  
STEWART TITLE INSURANCE CO.  
RIDGEWOOD SAVINGS BANK , ITS SUCCESSORS  
AND OR ASSIGNS

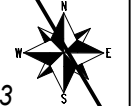
JOB NO. 2015-270  
MAP NO. 856  
FILED: APRIL 16. 1928  
REVISIONS:  
REV.PER SCDHS COMMENTS 11/24/15  
ADD LENDER TO CERTS 12/7/15  
REV. PROP. DWELL. 2/29/16  
PREP.FOR TOWN BUILDING PERMIT 3/23/16  
REV. PROP. POOL SIZE & LOC. 11/17/16

LICENSE NO. 050363

## HANDS ON SURVEYING

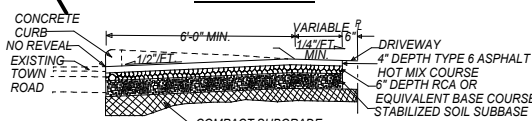
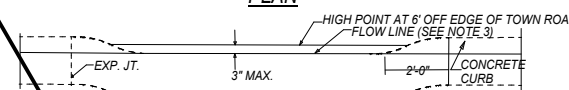
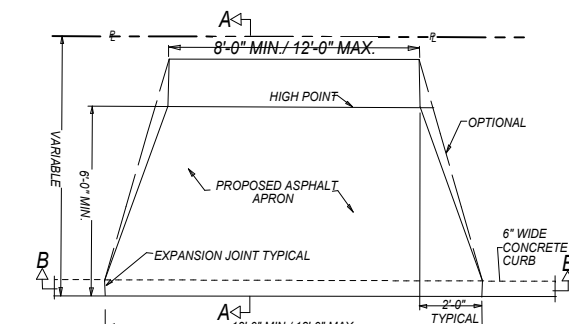
26 SILVER BROOK DRIVE  
FLANDERS, NEW YORK  
11901

TEL: (631)-369-8312 - FAX:(631)-369-8313  
MARTIN D. HAND L.S.



COPIES OF THIS SURVEY MAP, EITHER PAPER OR ELECTRONIC, NOT BEARING  
THE LAND SURVEYORS INKED SEAL OR EMBOSSED SEAL SHALL NOT BE  
CONSIDERED TO BE A VALID COPY AND SHALL NOT BE USED FOR ANY PURPOSE.

## RESIDENTIAL ASPHALT APRON (NOT TO SCALE)

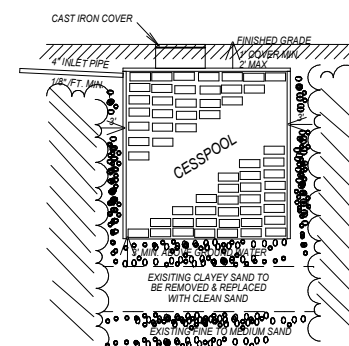


## NOTES:

1. THE APRON WILL CONFORM TO THE PROFILE OF THE EXISTING GUTTER LINE ON THE TOWN ROAD TO PERMIT STORM WATER TO CROSS IN FRONT OF THE APRON AND CONTINUE DOWNSTREAM ON THE TOWN PAVED GUTTER LINE.
2. ELEVATED CURB BORDER SHALL NOT BE INSTALLED AT THE BEGINNING OF THE APRON FOR A DISTANCE OF SIX FEET (6') IN FROM THE EDGE OF THE TOWN ROAD.
3. ANY GRADING, PLANTING OR INSTALLATION OF THE BUSHES OR TREES IN THE TOWN RIGHT-OF-WAY SHALL BE REVIEWED BY THE HIGHWAY DEPARTMENT PRIOR TO EXECUTION.
4. ASPHALT AND CONCRETE ARE THE ONLY CONFORMING MATERIALS AND ANY TYPE OF ORNAMENTAL OR COBBLESTONE DRIVEWAY IS NON-CONFORMING

WESTMINSTER ROAD

## SANITARY EXCAVATION DETAIL



NAROD BOULEVARD