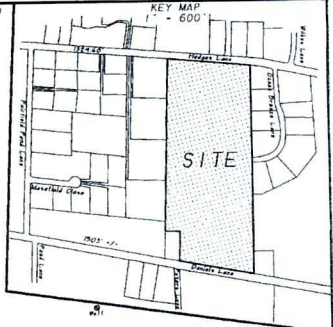


MAP OF DANIEL-HEDGES LLC

Situate
INCORPORATED VILLAGE OF SAGAPONACK
Town Of Southampton
Suffolk County, New York

SCALE: 1" = 100'

SCM No. 908-10-1-2 708p/108



AREA: 1,768,348 sq.ft. (40.5957 acres)
NUMBER OF LOTS: 8
ZONING DISTRICT: R-120
FLOOD ZONE: "X"
POSTAL DISTRICT: Sagaponack
FIRE DISTRICT: Bridgehampton
SCHOOL DISTRICT: Sagaponack
UTILITIES: L.I.P.A., Verizon
(All utilities installed underground in accordance with Public Service Commission regulations.)
S.C.T.M. No.: 908-10-1-2

NOTE: Prime Agricultural Soils area on property is 1,702,847 sq.ft. or 39.0920 acres which excludes the existing developed areas. The Total Agricultural Reserved Area is 1,108,068 sq.ft. or 25.4377 acres which comprises 65% of prime agricultural soils and includes the 10' wide trail easement area of 21,315 sq.ft. or 0.4893 acres.

Owner and Developer:

Daniel Hedges LLC
c/o Alan Scherman
61 Broadway, Suite 105
New York, NY 10008

- indicates found concrete masonry.
- indicates fine hydrofracture.
- indicates 12" iron pipe.
- indicates utility pole.
- indicates concrete cover.
- indicates sprinkler head.

LINE	BEARING	DISTANCE
L 1	N 30°21'02"W	90.98'

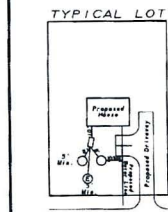
- ### STRUCTURES
- 1: 2 Story Frame Duplexing (ff. Elev. 35.7')
 - 2: 2 Story Frame Duplexing (ff. Elev. 32.8')
 - 3: 2 Story Frame Garage (Floor Elev. 32.8')
 - 4: 2 Story Frame Garage (Floor Elev. 33.0')
 - 5: Frame Barn (Floor Elev. 33.0')
 - 6: Metal Shed
 - 7: Stone Marquee

TEST HOLE #1

DEPTH	DESCRIPTION
0' - 1'	Topsoil
1' - 4'	Clay
4' - 12'	Bed & gravel

TEST HOLE #2

DEPTH	DESCRIPTION
0' - 2'	Topsoil
2' - 14'	Bed & gravel
14' - 16'	Water



SUFFOLK COUNTY DEPARTMENT OF HEALTH SERVICES
HAUPTAUGE, N. Y.

Date:

This is to certify that the proposed Reentry Subdivision or Development as shown on the attached site plan complies with the requirements of the Town of Southampton Zoning Law approved on the above date. Water Supplies and Sewerage Disposal facilities have been approved by the appropriate agencies. The lot area, lot dimensions and area are subject to separate permits to those agencies. This approval shall be valid only if the entry subdivision development map is duly filed with the County Clerk within one year of this date. Consent is hereby given for the filing of this map as which this endorsement appears in the Office of the County Clerk in accordance with provisions of the Public Health Law and the Suffolk County Code.

Vito Hixal, P.E.
Director, Division of Environmental Quality

I hereby certify that the entry subdivision maps were prepared in accordance with the requirements of the Town of Southampton Zoning Law. I have reviewed the maps and find them to be in accordance with the requirements of the Town of Southampton Zoning Law.

Drew Bassett, P.E. (1993 Lic. No. 075744) Date of Signing

This is to certify that all lots and parcels on this plan comply with the requirements of the Town of Southampton Zoning Law.

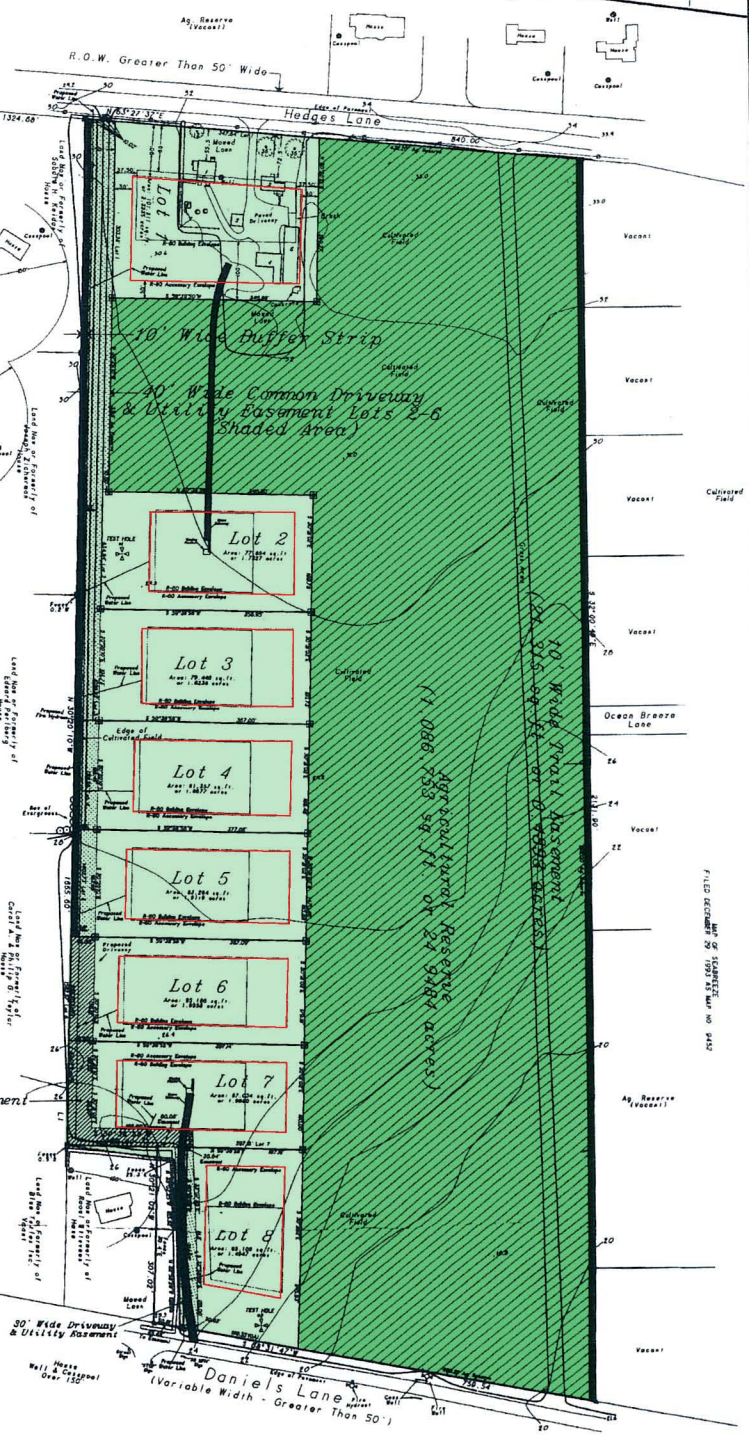
I hereby certify that this map was made by me from actual surveys completed June 1, 2005 and that all concrete monuments shown hereon exist, and that their positions are correctly shown.

October 14, 2008
Date of Signature

This is to certify that this subdivision map has been approved by the Planning Board of the Town of Southampton by resolution dated

Date of Signing

Town of Southampton Planning Board



NOTES

1. Unimproved driveway or address to a survey was located a proposed lot survey was a minimum of seven (7) feet and a maximum of ten (10) feet from the lot line.
2. Only notes from the original of this survey which were on the original of the surveyor's returned field or field notes shall be considered to be valid notes.
3. Certifications indicated hereon signify that this survey was prepared in accordance with the current Code of Practice for Land Surveyors established by the N.Y. State Association of Professional Land Surveyors. Said certifications shall not apply to the portion of the survey prepared, and to be labeled as for Title Company, governmental agency and Landmark Institute, limited herein, and to the portions of the survey location. Certifications are not transferable to additional locations or subsequent surveys.
4. Underground easements or encroachments, if any, are not shown hereon.
5. The existence of any of these notes and/or encroachments of record, if any, is not shown are not guaranteed.
6. Elevation shown are based on U.S.C. A.S. datum (1929 NGVD).

October 8, 2008: Locate signs
July 3, 2008: Locate raised platforms & driveways
April 19, 2008: Set CM's (17) & platform stakes
August 29, 2007: Reuse utility areas
August 23, 2007: Plot final grades on profile plan
July 12, 2007: Reuse driveway & drainage
June 14, 2007: Reuse proposed fire hydrant location and land monument (2)
June 8, 2007: Reuse drainage plan
April 13, 2007: Proposed common driveway for Lots 7 & 8 and set note & cross-SCM's
December 28, 2006: Reuse proposed drainage
September 20, 2006: Reuse on per Health Dept.
April 6, 2006: Reuse easements
June 28, 2005: Add certifications

Surveyed June 1, 2005
David L. Saxton
N.Y.S. Lic. No. 049960

Saxton Surveying Company, P.C.
124 Cedar Street
East Hampton, New York 11937
(631) 374-6917 FAX 329-4768