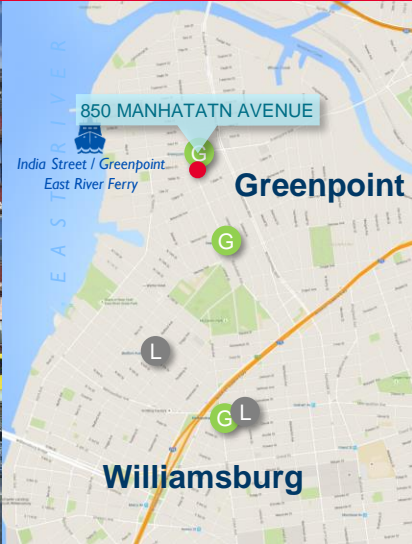




FOR SALE
850 MANHATTAN AVENUE
 Greenpoint, Brooklyn



MIXED-USE BUILDING IN GREENPOINT

PROPERTY FEATURES

Location	East side of Manhattan Avenue between Greenpoint Avenue and Calyer Street
Block / Lot	2574 / 48
Lot Dimensions	25.08' x 99.08' Irreg.
Lot SF	2,485 (approx.)
Zoning	C4-3A
Residential FAR	3.00
Commercial FAR	3.00
Stories / Units	4 / 6 plus retail store
Building Dimensions	25' x 60'
Building SF	6,020 (approx.)
Total Buildable SF	7,455 (approx.)
Available Air Rights	1,435 (approx.)
Combined Assessment (15/16)	\$142,909
Combined Taxes (15/16)	\$18,411

The exclusive offering is a brick mixed-use building comprising six apartments above a 1,275 SF store. The subject property is located in the Greenpoint Historic District of Brooklyn along the main commercial strip of Manhattan Avenue. The building is less than a block from the Greenpoint Avenue G Train station and offers five free-market and one rent stabilized apartments. With over 1,400 SF of available air rights, the property allows the ability build out the ground floor further capitalizing on the increased demand for commercial space in the neighborhood. 8,000 residential units are slated for development on the Greenpoint waterfront which will lead to an increase in foot traffic on retail corridors in the years to come. With the commercial tenant's month-to-month lease, this provides a great opportunity for an owner user to open a business on one of the best retail blocks in Brooklyn.

UNIT	STATUS	S.F.*	EXPIRATION	\$/ S.F.	IN-PLACE		PROJECTED		
					MONTHLY RENT	ANNUAL RENT	\$/ S.F.	MONTHLY RENT	ANNUAL RENT
Store	Cleaner	1,275	M to M	\$80	\$8,500	\$102,000	\$100	\$10,625	\$127,500
2L	Rent Stabilized	640	Apr-16	\$20	\$1,084	\$13,008	\$20	\$1,084	\$13,008
2R	Free Market	640	Oct-17	\$36	\$1,900	\$22,800	\$56	\$3,000	\$36,000
3L	Free Market	640	M to M	\$43	\$2,300	\$27,600	\$56	\$3,000	\$36,000
3R	Free Market	640	Nov-16	\$38	\$2,000	\$24,000	\$56	\$3,000	\$36,000
4L	Free Market	640	Jul-16	\$41	\$2,200	\$26,400	\$56	\$3,000	\$36,000
4R	Free Market	640	Nov-16	\$39	\$2,100	\$25,200	\$56	\$3,000	\$36,000
TOTAL		5,115		\$36	\$20,084	\$241,008	\$50	\$26,709	\$320,508

ASKING PRICE

\$5,250,000

For more information, please contact:

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