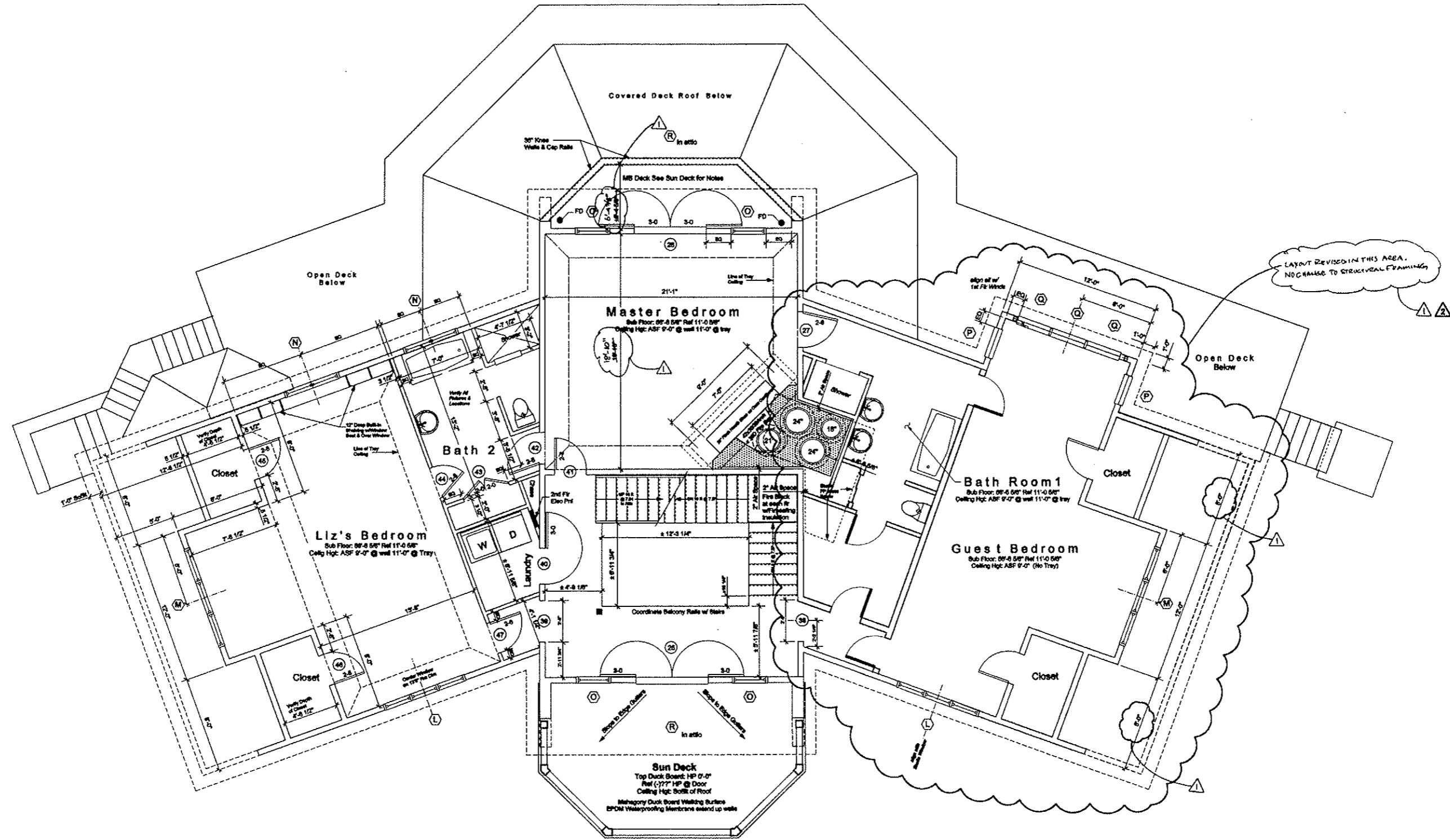


▲ AS-BUILT CONDITIONS

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	Project Location: Tax Parcel: 68.-1-15.1		Drawing Title: First Floor Plan	Issue Date: 08/23/00
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▲ REVISED RIGHT WING LAYOUT
 ▲ AS-BUILT CONDITIONS

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	Drawing Title: Second Floor Plan		Issue Date: 08/23/00
	Project Location: Tax Parcel: 68.-1-15.1		Revision Date:
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General Foundation Notes:

01. Commonalities in Structure:
- All concrete footings are 12" Deep
 - All concrete walls have minimum reinforcement shown in Det S-1
 - All exterior concrete walls are waterproofed per S-1
 - All stone work to be installed per comments of S-1
 - All box bands are single or double 1 3/4 x 11 7/8 LVLs not Rim Boards
 - All bolts or lag fasteners exposed to elements shall be galvanized
 - All hangers, and supports for T/Js, LVLs, and Posts shall be sized to maximum capacity of supported member.
 - All nails used to apply hangers are to be supplied by hanger manufacturer
 - All Posts shall bear on galvanized metal seats that hold wood above masonry, and have wood uplift resistance by bolting to foundation
 - All steel beams shall be Standard W12x26 members
 - All Interior Columns supporting steel beams shall be Tube Steel 4 x 4 x 1/4

02. Concrete
- A) Mixes:
- All footings 3000 PSI @ 28 Days
 - All Walls 4000 PSI @ 28 Days
 - All Slabs on Grade 4000 PSI @ 28 Days, 3-5% air entrained
- B) Placement:
- Maximum Slump 4"
 - Place concrete so as not to cause separation of aggregate from mortar.
 - Minimally Vibrate wall concrete to eliminate voids.
 - Provide Tongue and Groove pour stops where needed to divide the work into pours of reasonable size suitable to crew size and capacity, or whenever the placement is interrupted for a period of time causing a cold joint to occur.

ALTERNATE NO. 1
Add 4" Stone Veneer
Wrap around all Deck
Edge Piers

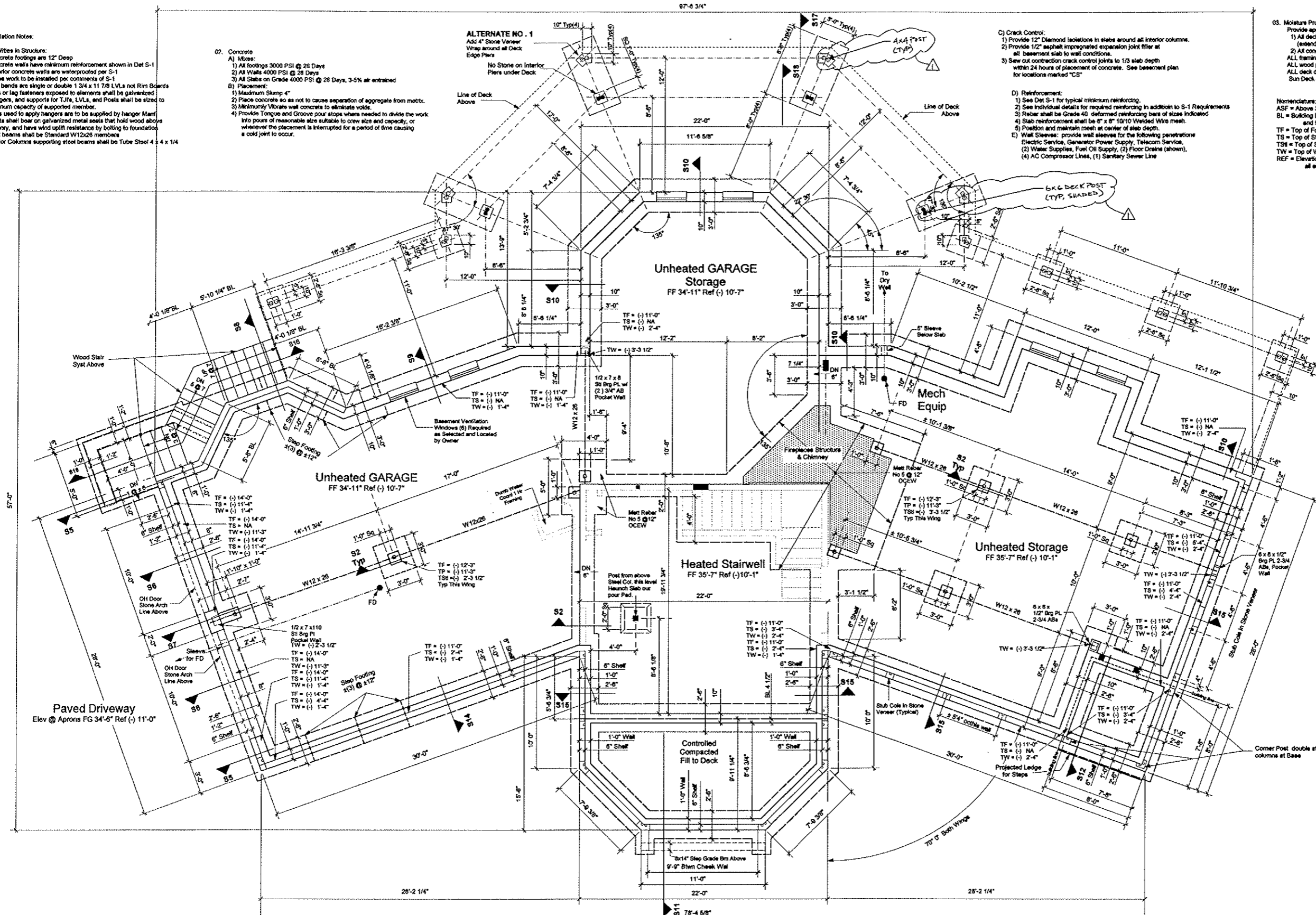
No Stone on Interior
Piers under Deck

- C) Crack Control:
- Provide 12" Diamond Isolations in slabs around all interior columns.
 - Provide 1/2" asphalt impregnated expansion joint filler at all basement slab to wall conditions.
 - Saw cut contraction crack control joints to 1/3 slab depth within 24 hours of placement of concrete. See basement plan for locations marked "CS"

- D) Reinforcement:
- See Det S-1 for typical minimum reinforcing.
 - See individual details for required reinforcing in addition to S-1 Requirements
 - Rebar shall be Grade 40 deformed reinforcing bars of sizes indicated
 - Slab reinforcing shall be #4 x 10" W12 Wires mesh.
 - Position and maintain mesh at center of slab depth.
- E) Wall Sleeves: provide wall sleeves for the following penetrations:
Electric Service, Generator Power Supply, Telecom Service,
(2) Waste Supplies, Fuel Oil Supply, (2) Floor Drains (shown),
(4) AC Compressor Lines, (1) Sanitary Sewer Line

03. Moisture Protection
- Provide approved EPDM or Ice and Weatherhead membranes at:
- All deck to wall conditions across North Elevation and at Front Porch (extend to 24" above deck)
 - All conditions where stone or concrete abut wood/plastic members
- ALL framing members in contact with steel or concrete shall be pressure treated.
ALL wood posts (4 x 4 s) shall be pressure treated.
ALL deck dimension lumber structural members shall be pressure treated.
Sun Deck and North Deck floor/roof structures shall be pressure treated.

Nomenclature:
ASF = Above Sub Floor
BL = Building Line = exterior face of studs, interior face of sheathing, and face of concrete foundations except as noted otherwise
TF = Top of Footing elevation
TS = Top of Stone Shelf elevation
TW = Top of Wall elevation
REF = Elevations relative to 0'-0" = Entry Sub Floor, all elevations on foundation plan are REF.



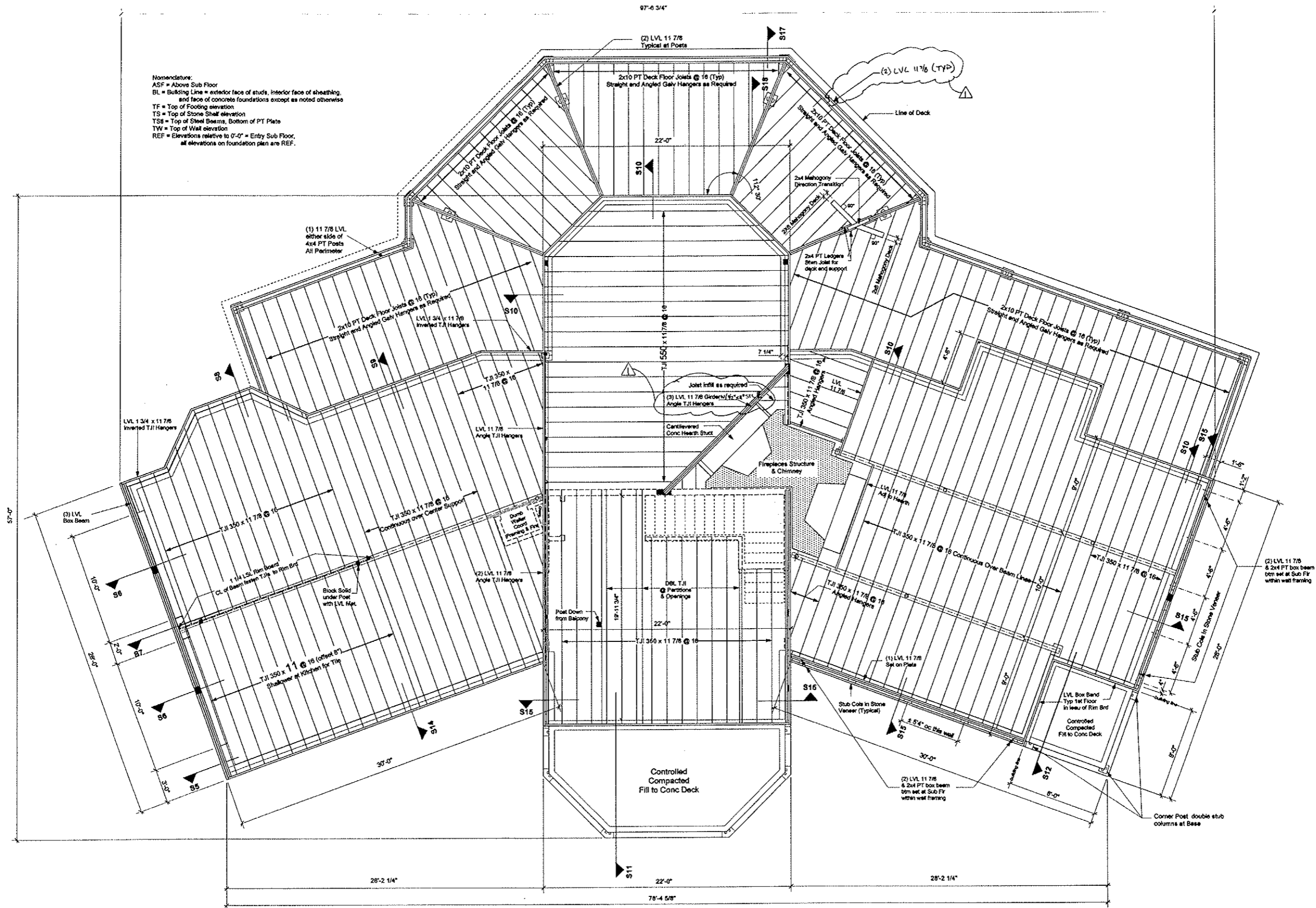
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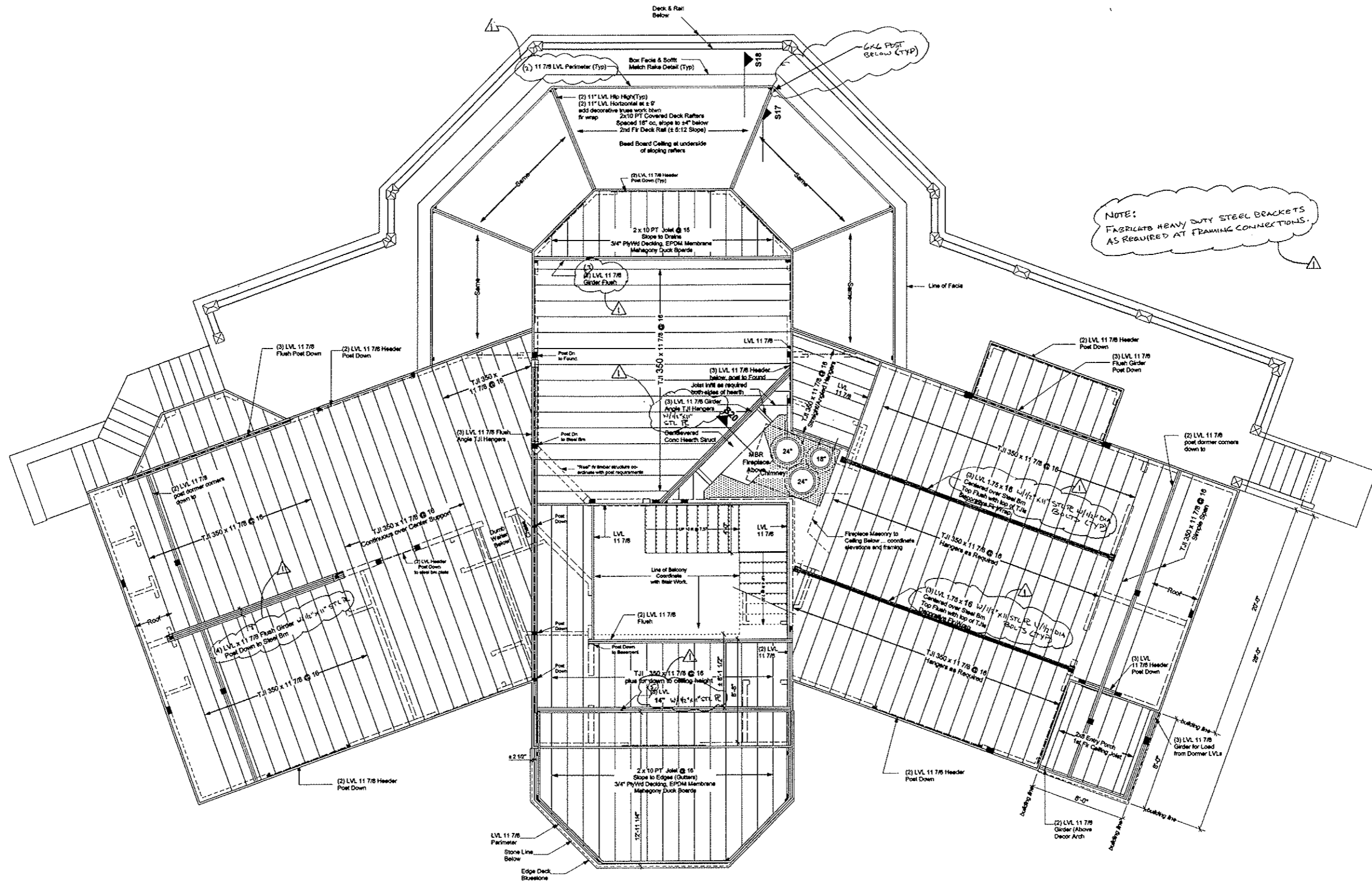
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Nomenclature:
 ASF = Above Sub Floor
 BL = Bulking Line = exterior face of studs, interior face of sheathing, and face of concrete foundations except as noted otherwise
 TF = Top of Footing elevation
 TS = Top of Stone Shelf elevation
 TSB = Top of Steel Beams, Bottom of PT Plate
 TW = Top of Wall elevation
 REF = Elevations relative to 0'-0" = Entry Sub Floor, all elevations on foundation plan are REF.




AS-BUILT CONDITIONS

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		Project Location: Tax Parcel: 68.-1-15.1	Revision Date:
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NOTE:
FABRICATE HEAVY DUTY STEEL BRACKETS
AS REQUIRED AT FRAMING CONNECTIONS.

AS-BUILT CONDITIONS

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		Drawing Title: 2nd Floor Framing		Issue Date: 08/23/00
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