

ECCCNYS COMPLIANCE NOTE:
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, ALL WORK UNDER THIS APPLICATION IS IN COMPLIANCE W/ ECCCNYS.

ECCCNYS Compliance Chart

Work Items (New or Replaced)	Proposed Design Values	Code Prescribed Values & Citation
Windows	U Value .32	Max. U-.06
Exterior doors		SHGC 0.5
Exterior Wall (Wood frame)	R-15 + R-5f	R-15 + R-5f
Piping Insulations	R-2	R-2
Interior Lighting	1 watt / sf	1 watt / sf

See ResCheck Report for more info.

ABBREVIATIONS

ABV - ABOVE
AFF - ABOVE FINISH FLOOR
AG - ABOVE GRADE
AP - ACCESS PANEL
AC - ACOUSTIC
ACT - ACOUSTIC CEILING TILE
AWP - ACOUSTIC WALL PANEL
ADDNL - ADDITIONAL
AKC - AIR CONDITIONING
ALT - ALTERNATE
ALUM - ALUMINUM
AB - ANCHOR BOLT
& - AND
< - ANGLE
APP - APPROXIMATE (LY)
ARCH - ARCHITECT (PDG / DKA)
@ - AT
BSMT - BASEMENT
BM - BEAM
BRG - BEARING
BET - BETWEEN
BLKT - BLANKET
BLKG - BLOCKING
B/ or B0 - BOTTOM (OF)
BD - BOARD
BMD - BOTTOM OF METAL DECK
BR - BACKER ROD
BLDG - BUILDING
CAB - CABINET
CPT - CARPET
CLG - CEILING
CEM - CEMENT
CTR - CENTER
C.L - CENTER LINE
CER - CERAMIC
CT - CERAMIC TILE
CB - CHALK BOARD
CO - CLEAN OUT
CLR - CLEAR
CLO - CLOSET
CW - COLD WATER
COL - COLUMN
CONC - CONCRETE
CMU - CONC MASONRY UNIT
COND - CONDITION
CONST - CONSTRUCTION
CM - CONST MANAGER
CONT - CONTINUOUS
CJ - CONTROL JOINT
CORR - CORRIDOR
C - COURSE (S)
CU - CUBIC
CU FT - CUBIC FOOT
CU YD - CUBIC YARD
DL - DEAD LOAD
DEP - DEPARTMENT
D - DEPTH / DEEP
DTL - DETAIL
DIAG - DIAGONAL
DIA - DIAMETER
DIM - DIMENSION
DIN - DINING ROOM
DIV - DIVISION
DR - DOOR
DBL - DOUBLE
DN - DOWN
DS - DOWNSPOUT
DWR - DRAWER
DWG - DRAWING
DF - DRINKING FOUNTAIN
EA - EACH
EW - EACH WAY
E - EAST
ELEC - ELECTRIC (AL)
EP - ELECT PANEL BOARD
ELEV - ELEVATION
EMERG - EMERGENCY
ENCL - ENCLOSURE
EQ - EQUAL, EQUIVALENT
EQUIP - EQUIPMENT
EXIST - EXISTING
EB - EXPANSION BOLT
EJ - EXPANSION JOINT
EXP - EXPOSED
EXT - EXTERIOR
EIFS - EXTERIOR INSULATING FINISH SYSTEM

FIN - FINISH (ED)
FF - FINISHED FLOOR
FE - FIRE EXTINGUISHER
FEC - FIRE EXTINGUISHER CAB
F TRTD - FIRE TREATED
FPL - FIREPLACE
FXT - FIXTURE
FD - FLOOR DRAIN
FL - FLOOR LINE
FLR - FLOOR (ING)
FLUOR - FLUORESCENT
FRC - FIBER REINFORCED CONC
FT or - FOOT OR FEET
FTG - FOOTING
FNDN - FOUNDATION
FUR - FURRED (ING)
FR - FIRE RATED
GALV - GALVANIZED GA- GAUGE
GC - GENERAL CONTRACTOR
GL - GLASS, GLAZING
GYP - GYPSUM
GYP. BD. - GYPSUM BOARD
G.B. - GYPSUM BOARD

OTHER COMMON ABBREVIATIONS

HDW - HARDWARE
HDWD - HARDWOOD
HVAC - HEATING, VENTILATION & AIR CONDITIONING
HOR HT - HEIGHT
HP - HIGH POINT
HC - HOLLOW CORE
HM - HOLLOW METAL
HORIZ - HORIZONTAL
HB - HOSE BIBB
HW - HOT WATER
HR - HOUR
IN or - INCH (ES)
INCL - INCLUDING
INFO - INFORMATION
INSTALL - INSTALLATION
INSUL - INSULATION
INT - INTERIOR
ID - INTERIOR DIAMETER
JT - JOINT
JST - JOIST
KIT - KITCHEN
LAM - LAMINATE
LC - LAUNDRY CHUTE
LAV - LAVATORY
LH - LEFT HAND
L - LENGTH
LT - LIGHT
LF - LINEAR FOOT
LIN - LINOLEUM
LL - LIVE LOAD
LR - LIVING ROOM
LP - LOW POINT
MFRD - MANUFACTURED
MFR - MANUFACTURER (S)
MFG - MANUFACTURING
MO - MASONRY OPENING
MBR - MASTER BEDROOM
MATL - MATERIAL (S)
MAX - MAXIMUM
MECH - MECHANICAL
MDF - MEDIUM DENSITY FIBERBOARD
MTL - METAL
MEZZ - MEZZANINE
MIN - MINIMUM
MISC - MISCELLANEOUS
MR - MOISTURE RESISTANT
MTD - MOUNTED
NOM - NOMINAL
N - NORTH
NIC - NOT IN CONTRACT
NTS - NOT TO SCALE
NO or # - NUMBER
OCC - OCCUPANT/OCCUPANCY
OC - ON CENTER (S)
OPNG - OPENING
OPP - OPPOSITE
OD - OUTSIDE DIAMETER
OH - OVERHEAD
PNT - PAINT
PTD - PAINTED
PNL - PANEL
PBD - PARTICLE BOARD

PART - PARTITION
PE - PASSENGER ELEVATOR
P - PENNY
PH - PENTHOUSE
% - PERCENT
PLAM - PLASTIC LAMINATE
PLAS - PLASTER
PL - PLATE
P+ - PLUS OR MINUS
PLYWD - PLYWOOD
PVC - POLYVINYL CHLORIDE
LB or # - POUND (S)
PSI - POUNDS PER SQUARE INCH
PIP - POURED IN PLACE
PC - PRECAST
PREFAB - PREFABRICATED
PRELIM - PRELIMINARY
PT - PRESSURE TREATED
QTY - QUANTITY
QT - QUARRY TILE
RAD - RADIUS
REC - RECESSED
REF - REFERENCE
RCP - REFLECTED CEILING PLAN
REFRIG - REFRIGERATION
REG - REGISTER
REIN - REINFORCEMENT
REINP - REPRESENTATIVE
REQ - REQUIRED
REV - REVISION (S), REVISED
RFS - ROOM FINISH SCHEDULE
RH - RIGHT HAND
R - RISER
RD - ROOF DRAIN
RM - ROOM
RO - ROUGH OPENING
RT - RUBBER TILE
SAN - SANITARY
SCH - SCHEDULE
SECT - SECTION
SE - SERVICE ELEVATOR
SHT - SHEET
SHWR - SHOWER
SIM - SIMILAR
SD - SMOKE DETECTOR
SC - SOLID CORE
SAB - SOUND ATTENUATING BATT
S - SOUTH
SPEC - SPECIFICATION (S)
SQ - SQUARE
SQ FT - SQUARE FEET
STD - STANDARD
SS - STAINLESS STEEL
STL - STEEL
STOR - STORAGE
STRC - STRUCTURE, STRUCTURAL
SUSP - SUSPENDED
SYS - SYSTEM
TB - TACK BOARD
TEL - TELEPHONE
TEMP - TEMPORARY
THK - THICK (NESS)
T&G - TONGUE AND GROOVE
T/ or TO - TOP OF
T/SLAB - TOP OF SLAB
T/STEEL - TOP OF STEEL
T - TREAD
TRTD - TREATED
TYP - TYPICAL
UV - UNIT VENTILATOR
U.N.O. or U.O.N. - UNLESS NOTED OTHERWISE
VER - VERIFY
VIF - VERIFY IN FIELD
VERT - VERTICAL
VEST - VESTIBULE
VIN - VINYL
VB - VINYL BASE
VCT - VINYL COMPOSITION TILE
WC - WATER CLOSET
WP - WATERPROOF (ING)
WT - WEIGHT
WWF - WELDED WIRE FABRIC
W - WEST OR WIDTH, WIDE
WIN - WINDOW
W - WITH
W/O - WITHOUT
WD - WOOD
WWM - WOVEN WIRE MESH

ADDRESS: 59 MADISON DRIVE - S.C.T.M. NO. 300-68-3-19 - LOTS 112 THROUGH 115, INCL.
LOT AREA IS: 9,649 SF OR .222 ACRES

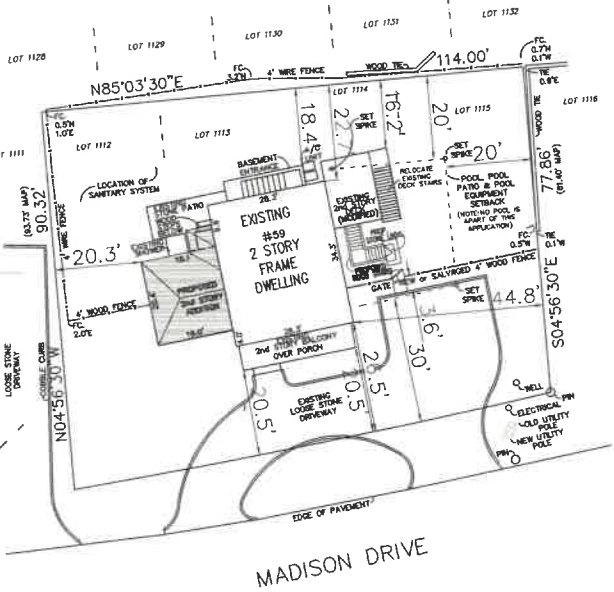
COVERAGE CALCULATIONS:
ALLOWABLE BUILDING COVER IS: 1,930 SF (20%)
BUILDING COVERAGE IS: 1,504 SF (15.6%)
ALLOWABLE TOTAL LOT COVERAGE IS: 4,825 SF (50%)
TOTAL LOT COVERAGE PROPOSED IS: 2,190 SF (22.6%)

CLEARING CALCULATIONS:
UP TO & INCLUDING 10,999 SF IS 100%
ALLOWABLE CLEARING BY CODE IS: 9,649SF (100%)
EXISTING CLEARING OF LOT IS: 9,649 SF (100%)

FLOOR AREA:
EXISTING FLOOR AREA 1st & 2nd FLOORS: 2,293 SF
PROPOSED FLOOR AREA 1st & 2nd FLOORS: 2,693 SF (400 SF 2ND STORY ADDITION)

BEDROOM COUNT: 4 EXISTING - 4 PROPOSED (NO CHANGE)

ZONING CALCULATIONS / INFO



PLOT PLAN / SURVEY

SCALE: 1"= 20"

SEE L.01 FOR MORE DETAILED SITE PLAN AND NOTES



DESIGN REQUIREMENTS FOR THE 2015 RESIDENTIAL CODE OF NEW YORK STATE
TOWN of EAST HAMPTON - NEW YORK - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CAT.	SUBJECT TO DAMAGE FROM...	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	2015 RESIDENTIAL CODE OF NEW YORK STATE COMPLIANCE STATEMENTS:
30 PSF	140-150	C	WEATHERING FROST DEPTH 42" TERMITE MODERATE/ HEAVY	YES	NO	THE DESIGN HEREOF (BY DANIEL KOPLOWITZ ARCHITECT) IS IN COMPLIANCE WITH ALL REQUIREMENTS OF THE 2015 RESIDENTIAL CODE OF THE STATE OF NEW YORK. THE NEW ADDITION IS IN COMPLIANCE WITH THE FOLLOWING: NYS SECTION R301.1 "DESIGN OF BUILDING AND STRUCTURE", I.E. DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOR LOADS, SNOW LOADS, WIND LOADS, AND SEISMIC LOADS AS PRESCRIBED THEREIN.
						TO THE BEST OF MY KNOWLEDGE THIS PROJECT COMPLIES WITH APPENDIX J104 ENERGY EFFICIENCY (NEW YORK RES. CODE NYS J104.1 ADDITIONS AND SUBSTANTIAL RENOVATIONS SECTION N1101.31 AND N1101.32) SEE RESCHECK DOCUMENT FOR MORE INFORMATION SUBMITTED BY THE ARCHITECT FOR THIS PROJECT IF REQ. BY LOCAL B.D.

VICINITY MAP

LIST OF DRAWINGS

- 1 of 12 Z.01.0 ZONING INFO, SITE PLAN, LIST OF DRAWINGS
- 2 of 12 G.01.0 GENERAL CONDITIONS AND NOTES
- 3 of 12 A.01.0 EXISTING 1st & 2nd FLOOR PLANS
- 4 of 12 A.02.0 EXISTING BASEMENT AND ROOF PLANS
- 5 of 12 A.03.0 EXISTING ELEVATIONS
- 6 of 12 A.04.0 PROPOSED 2ND FLOOR PLAN
- 7 of 12 A.05.0 PROPOSED ROOF & FIRST FLOOR PLANS
- 8 of 12 A.06.0 PROPOSED ELEVATIONS & WINDOW SCHEDULE
- 9 of 12 A.07.0 DETAILED MASTER BATH PLAN AND ELEVATIONS - PLUMBING SCHEDULE & NOTES
- 10 of 12 AF.1.0 FRAMING & FOOTING PLANS - WALL SECTION
- 11 of 12 AF.2.0 LONGITUDINAL SECTION AND MISC. DETAILS
- 12 of 12 E.01.0 ELECTRICAL LAYOUT PLAN & SCHEDULE

Renovation & Addition Project
59 Hamilton Drive
Montauk - Town of Easthampton
Suffolk County .|. New York

Preservation DESIGN GROUP
Daniel Koplowitz Architect
20 Upper Firestone Road
Montauk, NY 11954
montaukarchitect.com
631.668.2092
MONTAUKARCHITECT.COM

BUILDING DEPARTMENT SUBMISSION

Revisions	Date	Symbol	Description

Client Name:
John Hawkins
59 Madison Drive
Montauk, NY 11954

Project Title:
THE HAWKINS
FAMILY MONTAUK
HOUSE
59 MADISON DRIVE
MONTAUK .|. NY
Second Story Addition
and
Existing Deck Alteration

Bldg. Dept. use:



Drawing Title:
ZONING INFO
Site Plan
LIST OF DWGS

Scale: as noted
Date: JULY 2019
Drawn By: DSK
Checked By: DSK
Project #: 02-1709
Sheet Number:

Z.01.0

Sheet No. 1 of 12
BD APP #

GENERAL CONSTRUCTION NOTES

1. CONTRACTOR ACCEPTS THE RESPONSIBILITY TO PROVIDE ALL MATERIALS AND LABOR REQUIRED TO PERFORM THE WORK IN CONFORMANCE WITH ALL THE NOTES, DETAILS, DRAWINGS, ETC. CONTAINED WITHIN THIS SET OF CONSTRUCTION DOCUMENTS. CONTRACTOR TO WORK FROM THE BUILDING DEPARTMENT APPROVED SET OF DOCUMENTS.
2. ALL WORK SHALL COMPLY WITH ALL THE APPLICABLE SECTIONS OF THE CODE OF NEW YORK STATE, NEC, NFPA 70, LOCAL ZONING CODE LAWS, AND WITH ALL OTHER APPLICABLE CODES & THE RESPECTIVE AGENCIES HAVING JURISDICTION. IN ALL CASES, THE MOST RESTRICTIVE LIMITATION OF ANY APPLICABLE CODE SHALL BE FOLLOWED BY THE CONTRACTOR. IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO CARRY OUT THE WORK SPECIFIED AND IN ACCORDANCE WITH THESE CODES, RULES, REGULATIONS GOVERNING AND TO ALL THE REQUIREMENTS, RECOMMENDATIONS AND INSTRUCTIONS OUTLINED BY THE MANUFACTURERS.
3. ANY ELECTRICAL AND PLUMBING WORK SHALL BE PERFORMED AND INSPECTED UNDER PERMITS ACQUIRED AT THE EXPENSE OF EACH CONTRACTOR. ELECTRICAL AND PLUMBING CONTRACTORS ARE TO BE FULLY LICENSED AND INSURED. GENERAL CONTRACTOR SHALL BE LICENSED AND INSURED.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT CONSULTING THE ARCHITECT FIRST.
5. CONTRACTOR(S) SHALL FOLLOW ALL LISTED AND NOTED DIMENSIONS AND NOTES. DO NOT SCALE OFF OF DRAWINGS.
6. CONTRACTOR TO NOTIFY THE OWNER, IN A TIMELY MANNER, WHEN THE WORK WILL BEGIN ON THE PROJECT AND SHALL COORDINATE WITH SAME. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF RELATED WORK. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN A TIMELY MANNER AND PRIOR TO THE COMMENCEMENT OF WORK.
7. CONTRACTOR SHALL COORDINATE WORK AND TRADES WITH THE TIMELINE OF REQUIRED INSPECTIONS SO AS TO NOT DELAY THE PROGRESS OF THE PROJECT. CONTRACTOR RESPONSIBLE FOR ACQUIRING ALL INSPECTIONS.
8. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH ALL OTHER CONTRACTORS AND SHALL CUT, LAY AND INSTALL THEIR WORK AT SUCH A TIME AND MANNER SO THAT NO DELAY OR INTERFERENCE WITH THE CARRYING FORWARD OF THE WORK OF OTHER CONTRACTORS SHALL OCCUR.
9. CONTRACTOR TO INSTITUTE & MAINTAIN ALL SAFETY MEASURES & AND SHALL PROVIDE ALL EQUIPMENT AND TEMPORARY CONSTRUCTION NECESSARY TO SAFEGUARD ALL PERSONS & PROPERTY. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SUPPORTS AND SHORING. (INCLUDING ANY ENGINEERING OF SUCH SUPPORTS AND SHORING).
10. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. ALL TEMPORARY SERVICES, PROTECTION AGAINST WEATHER, AND THE COORDINATION OF TRADES AND RESPECTIVE SERVICES.
11. ALL PERMITS AND CLOSE-OUT PROCEDURES SHALL BE SECURED BY, AND AT THE EXPENSE OF, THE CONTRACTOR. CONTRACTOR SHALL GIVE ALL NOTICES AND REQUESTS FOR ALL TESTING AND INSPECTIONS REQUIRED BY THE GOVERNING JURISDICTION. NO WORK SHALL START UNTIL ALL THE NECESSARY PERMITS ARE ISSUED AND THE CONTRACTOR'S WORK SHALL BE CONSIDERED COMPLETE ONLY WHEN ALL REQUIRED CLOSE- OUT DOCUMENTS ARE IN ORDER.
12. CONTRACTOR SHALL NOTIFY ARCHITECT DURING THE DEMOLITION PHASE OF ANY QUESTIONABLE CONDITION OF EXPOSED MATERIALS THAT ARE TO REMAIN, ALONG WITH ALL LOAD-BEARING MEMBERS, ETC. ANY DISCREPANCIES FOUND BETWEEN THOSE UNCOVERED IN THE FIELD AND THOSE INDICATED ON THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN A TIMELY MANNER.
13. ALL PATCHING & REPAIRING SHALL BE DONE WITH MATERIAL & WORKMANSHIP TO MATCH ADJACENT. ALL NEW CONSTRUCTION TO ALIGN WITH EXISTING UNLESS OTHERWISE INDICATED.
14. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE BEST ACCEPTABLE TRADE PRACTICES, PER MANUFACTURERS RECOMMENDATIONS, & PER THE REQUIREMENTS OF THE CODE. OWNER AND ARCHITECT RESERVE THE RIGHT TO REJECT UNACCEPTABLE CONSTRUCTION AT THE EXPENSE OF THE CONTRACTOR. CONTRACTOR TO PROVIDE TO THE OWNER ALL WARRANTY AND GUARANTY INFORMATION PROVIDED BY THE APPROPRIATE MANUFACTURERS AND SHALL INFORM THE OWNER OF WARRANTIES AND GUARANTIES ASSOCIATED WITH SAID WORK.
15. ANY SUBSTITUTION TO ANY SPECIFIED MATERIALS OR ASSEMBLIES REQUESTED BY THE CONTRACTOR SHALL BE PRESENTED TO THE ARCHITECT IN A TIMELY MANNER. CONTRACTOR SHALL FURNISH TO THE ARCHITECT ALL PRODUCT DATA, TEST REPORT DATA, CODE RELATED MATERIAL, ETC. REGARDING THE SUBSTITUTION (IF APPLICABLE) ALONG WITH A SIGNED APPROVAL BY THE OWNER INDICATING THAT THE OWNER HAS APPROVED SUCH SUBSTITUTION PENDING THE APPROVAL OF THE ARCHITECT. THE

- ARCHITECT RESERVES THE RIGHT TO REJECT SUCH SUBSTITUTION FOR ANY REASON. IN THE EVENT OF A REJECTION, THE CONTRACT AMOUNT SHALL NOT BE INCREASED BY THE USE OF THE SPECIFIED MATERIAL OVER THE REQUESTED SUBSTITUTION.
16. ALL CONSTRUCTION DEBRIS & REFUSE SHALL BE REMOVED FROM THE PROJECT SITE ON A REGULAR BASIS AND LEGALLY DISPOSED OF OFF OF THE PROPERTY.
17. ALL FINISHES SHALL COMPLY WITH THE NEW YORK STATE BUILDING CODE. ALL MATERIALS & ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL BE OF AN APPROVED ASSEMBLY BY THE UNDERWRITERS LABORATORIES (UL) OR AN APPROVED AGENCY.
18. ALL FIXTURES, FINISHES, FURNISHINGS, EQUIPMENT, HARDWARE, ETC. TO BE APPROVED OF BY THE OWNER.CONTRACTOR TO COORDINATE OWNER SUPPLIED MATERIAL WITH CONTRACTOR'S WORK.
19. NO RESPONSIBILITY HAS BEEN ASSUMED BY THE ARCHITECT FOR INFORMATION SUPPLIED BY OTHERS AND BELIEVED BY THE ARCHITECT TO BE RELIABLE, NOR FOR ANY CONDITIONS WHICH WERE CONCEALED OR IMPOSSIBLE TO DETECT WITHOUT SUBSTANTIAL AND/OR EXTENSIVE PROBING OR TESTING NOR FOR ANY LATENT DEFECTS IN THE EXISTING STRUCTURE. ARCHITECT ASSUMES NO LIABILITY FOR ANY WORK NOT IN CONFORMANCE WITH THE CODE NOR FOR EXISTING CONDITIONS SHOWN HEREON.
20. ANY SITE OBSERVATIONS PERFORMED BY THE ARCHITECT ARE SOLELY FOR THE ARCHITECT'S PURPOSE OF DETERMINING IF THE WORK IS BEING CARRIED OUT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS FOR THE GENERAL DESIGN AND AESTHETIC INTENT. THE ARCHITECT'S PRESENCE ON THE SITE IN NO WAY RELIEVES THE CONTRACTOR OF HIS DUTIES TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE RULES AND REGULATIONS MANDATED BY THE LOCAL MUNICIPALITY, OR THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE. THE ARCHITECT WILL NOT BE HELD LIABLE FOR ANY UNSATISFACTORY WORK PERFORMED, THE QUALITY OF CRAFTSMANSHIP, MEANS AND METHODS OF CONSTRUCTION AND SITE SAFETY. EXCEPTIONS BY THE LOCAL MUNICIPALITY FAILED INSPECTIONS. OR ANY OTHER DEFICIENCIES BY THE CONTRACTOR.
21. ANY REQUIRED AS-BUILT DRAWINGS, FINAL AND PROGRESS SURVEYS, AND REQUIRED CLOSE-OUT DOCUMENTS, SHALL BE ACQUIRED BY THE CONTRACTOR AT HIS EXPENSE.
22. THE ARCHITECT HAS BEEN RETAINED BY THE OWNER FOR SERVICES DURING CONSTRUCTION AND THEREFORE WILL PERFORM SOME INSPECTIONS AS REQ., BEYOND THOSE CONDUCTED BY THE LOCAL BUILDING DEPARTMENT. ANY WORK PERFORMED THAT DOES NOT CONFORM TO THE STIPULATIONS OUTLINED HEREIN WILL NOT BE SUPPORTED BY AFFIDAVITS OF INSPECTION. AFFIDAVITS OF FINAL CONSTRUCTION COSTS, NOR FURNISH ANY DOCUMENTS ATTESTING TO THE COMPLETION OR CONFORMANCE OF THE WORK PERFORMED BY THE CONTRACTOR.

GENERAL STRUCTURAL NOTES:

1. ALL STRUCTURAL CONCRETE SHALL COMPLY WITH ACI SPECIFICATIONS & HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,500 P.S.I. AT DAY 28.
2. ALL C.M.U. FOUNDATIONS SHALL BE REINFORCED VERTICALLY WITH HOT GALVANIZED ASTM A653 OR EPOXY COATED GRADE 60 OR BETTER DEFORMED REBAR. ALL CELLS OF THE CMU SHALL BE FILLED SOLID WITH GROUT - MORTAR SHALL NOT BE PERMITTED TO FILL CORES SOLID.
3. BEARING CAPACITY OF SOIL 1.5 KIP/S.F. MINIMUM ASSUMED.
4. ALL STRUCTURAL STEEL TO BE ASTM A529/A529M GRADE 50 K.S.I. ALL LIGHT GAUGE FRAMING TO BE 24 GA MINIMUM.
5. ALL INTERIOR STRUCTURAL LUMBER TO BE DOUGLAS FIR-LARCH NO. 2 OR EQUAL WITH A MINIMUM BENDING STRESS OF 900 PSI AND CONFORM TO AFPA STANDARDS. ALL EXTERIOR GRADE LUMBER TO BE PRESSURE TREATED SOUTHERN PINE CONFORMING TO AWPA STANDARDS OR OF A STRUCTURAL-GRADE SPECIES NATURALLY RESISTANT TO DECAY AND INSECTS. LAMINATED VENEER LUMBER (LVL) TO HAVE MINIMUM BENDING STRESS OF 2,600 PSI AND A MODULUS OF ELASTICITY OF 1,900,000 PSI. PARALLEL STRANDED LUMBER TO HAVE A MINIMUM BENDING STRESS OF 2,900 PSI AND A MODULUS OF ELASTICITY OF 2,000,000 PSI.
6. ALL CONCRETE, MASONRY, AND EXTERIOR LUMBER FASTENERS, SCREWS, ANCHORS, STRUCTURAL ACCESSORIES, ETC. TO BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A653 OR BETTER.
7. ALL STRUCTURAL SHEATHING SHALL BE INSTALLED WITH THE FACE GRAIN PERPENDICULAR TO THE FRAMING BENEATH.
8. ALL LOAD BEARING ELEMENTS SHALL BE INSTALLED IN DIRECT CONTACT WITH THE LOAD BEARING ELEMENT RECEIVING THE LOAD. ALIGN ALL JOISTS OVER STUDS, RAFTERS OVER JOISTS, FULL BEARING OF JOISTS AND STUDS ONTO SILLS, ETC. DISCREPANCIES SHALL BE REMEDIED AT CONTRACTOR'S EXPENSE. ALL CONNECTIONS SHALL BE WITH APPROVED HOT-GALVANIZED METAL CONNECTORS - TOE NAILING SHALL NOT BE CONSIDERED A POSITIVE STRUCTURAL CONNECTION.

ELECTRICAL NOTES

1. ELECTRICIAN SHALL BE LICENSED AND INSURED TO PERFORM WORK IN THIS JURISDICTION AND SHALL FILE FOR PERMITS AND REQUIRED INSPECTION AT HIS EXPENSE.
2. ALL DEVICES AND WIRING SHALL BE OF AN APPROVED TYPE AS REQUIRED BY THE N.E.C. AND ALL LOCAL CODES GOVERNING.
3. COORDINATE TYPE AND LOCATIONS ALL FIXTURES, SWITCHES, DEVICES AND OUTLETS WITH OWNER.
4. ELECTRICIAN SHALL COORDINATE ALL KITCHEN AND SERVICE EQUIPMENT WITH OWNER AND SHALL PROVIDE AND INSTALL ALL REQUIRED RECEPTACLES, CIRCUITS, G.F.C.I.'S, ETC. AS REQUIRED FOR THE COMPLETE FUNCTION OF THE TENANT SPACE.
5. PROVIDE MIN. 85 C.F.M. FANS IN BATHROOMS. FAN SHALL BE INSTALLED WITH A RIGID DUCT RUNNING DIRECTLY TO THE EXTERIOR.
6. ALL FIXTURES LOCATED WITHIN BATHROOMS, KITCHEN AREAS AND LOCATED OUTSIDE SHALL BE RATED FOR WET SERVICE.
7. ALL SURFACE FIXTURES SHALL HAVE A COVER OR GLOBE - NO BARE-BULB FIXTURES PERMITTED.
8. ELECTRICIAN SHALL EVALUATE THE ELECTRICAL PANEL AND UPGRADE AS REQUIRED PER THE REQUIREMENTS OF THE CODE. CONTRACTOR SHALL COORDINATE WORK AND COMPLY WITH THE LOCAL UTILITY COMPANY AS REQUIRED.
9. PROVIDE AND INSTALL AN INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTION SYSTEM THROUGHOUT THE DWELLING IF AN INTERCONNECTED SYSTEM DOES NOT CURRENTLY EXIST. SEE TITLE SHEET FOR MORE INFORMATION.

PLUMBING NOTES

1. PLUMBER SHALL BE LICENSED AND INSURED TO PERFORM WORK IN THIS JURISDICTION AND SHALL FILE FOR PERMITS AND REQUIRED INSPECTION AT HIS EXPENSE.
2. ALL NEW PLUMBING (INSTALLATION, ROUGHING, FIXTURES, ETC.) SHALL CONFORM WITH THE REQUIREMENTS OF THE STATE AND LOCAL BUILDING CODES ALONG WITH THE PLUMBING INSPECTOR HAVING JURISDICTION.
3. ALL FIXTURES SHALL BE PROVIDED BY OWNER AND INSTALLED BY PLUMBER UNLESS NOTED OTHERWISE OR COORDINATED BETWEEN PLUMBER AND OWNER. PIPING EXPOSED TO VIEW SHALL BE BRASS OR CHROME - CONFIRM WITH OWNER.
4. COORDINATE LOCATIONS OF ALL FIXTURES WITH THE REQUIREMENTS OF THE OWNER AND MAINTAIN ALL REQUIRED FIXTURE CLEARANCES AND HEADROOM REQUIREMENTS IN ACCORDANCE W/ THE CODE.
5. PROVIDE ALL ROUGH PLUMBING AND VENTING, CONNECTIONS TO HARDWARE, DRAINS, FIXTURES AND EQUIPMENT, ETC. AS REQUIRED FOR A COMPLETE AND CONFORMING INSTALLATION. ALL PLUMBING FIXTURES SHALL HAVE BACK SIPHONING PROTECTION.

MECHANICAL SYSTEM NOTES

1. WITH THE EXCEPTION OF WHAT IS INDICATED ON THE PLANS WITHIN THIS SET OF CONSTRUCTION DOCUMENTS, THE ARCHITECT HAS NOT BEEN RETAINED BY OWNER FOR THE DESIGN, ENGINEERING, OR LAYOUT OF ANY MECHANICAL SYSTEM. CONTRACTOR SHALL COORDINATE ALL MECHANICAL WITH OWNER AND THE AUTHORITY HAVING JURISDICTION.
2. CONTRACTOR SHALL PERFORM ALL MECHANICAL WORK IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE BUILDING CODE AND ALL AUTHORITIES HAVING JURISDICTION.
3. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF A CENTRAL AIR CONDITIONING SYSTEM WITH THE OWNER.
4. CONTRACTOR SHALL PROVIDE AND INSTALL FRESH AIR INTAKES TO ANY ROOM WITH COMBUSTION EQUIPMENT IN ACCORDANCE WITH CHAPTER 17 OF THE NEW YORK STATE RESIDENTIAL CONSTRUCTION CODE.
5. PROVIDE TWO VENT INTAKES; ONE WITHIN 12" OF THE FLOOR AND ONE WITHIN 12" OF THE CEILING WITHIN EXISTING BOILER ROOM. EACH VENT INTAKE SHALL DRAW SEPARATE OUTSIDE AIR AND SHALL NOT BE FED BY A COMMON INTAKE DUCT. EACH DUCT SHALL HAVE A CONTINUOUS CROSS SECTION OF AREA FOR ITS ENTIRE LENGTH AND SHALL HAVE LOUVERS OF THE SAME.
6. EACH INTAKE DUCT SHALL PROVIDE ONE SQUARE INCH

OF FREE AREA PER 2,000 BTU OF THE TOTAL INPUT OF ALL APPLIANCES WITHIN THE SPACE.

7. BUILDING THERMAL ENVELOPE: THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED. WEATHER-STRIPPED, OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL: ALL JOINTS. SEAMS AND PENETRATIONS. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.
8. UTILITY PENETRATIONS.

DROPPED CEILINGS AND CHASES ADJACENT TO THE THERMAL ENVELOPE. KNEE WALLS. WALLS AND CEILINGS SEPARATING UNCONDITIONED SPACE FROM CONDITIONED SPACE. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS. COMMON WALLS BETWEEN DWELLING UNITS. ANY ADDITIONAL SOURCES OF POTENTIAL INFILTRATION NOT LISTED HEREON.

8. CONTRACTOR SHALL PROVIDE AND INSTALL A PERMANENT CERTIFICATE IN ACCORDANCE WITH 401.3 OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NYS. CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL SERVICE PANEL AND SHALL NOT COVER OR OBSCURE ANY ELECTRICAL PANEL LABELS, DIAGRAMS, CIRCUITRY, ETC. CERTIFICATE SHALL HAVE ALL THE REQUIRED INFORMATION ON THE INSULATION VALUES OF THE WALLS, CEILINGS, AND FLOORS. U-VALUES OF ALL FENESTRATION PRODUCTS, AND THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER EQUIPMENT. CONSULT WITH LOCAL MUNICIPALITY FOR ADDITIONAL REQUIREMENTS. ARCHITECT WILL NOT PROVIDE THIS CERTIFICATE.

SMOKE DETECTORS AND ALARMS

1. ALL SMOKE ALARMS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE BUILDING CODE OF NEW YORK STATE.
2. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM, ON EACH STORY OF THE DWELLING (INCLUDING BASEMENTS) BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. INSTALL A CARBON MONOXIDE DETECTOR WITHIN 15-FEET OF A SLEEPING AREA ON EACH LEVEL OF THE DWELLING AND ON EACH LEVEL WHERE THERE IS A CARBON MONOXIDE SOURCE.

LOADING CRITERIA (P.S.F.)

LOCATION	DEAD LOAD	LIVE LOAD	TOTAL LOAD
LIVING AREAS	10	40	50
SLEEPING AREAS	10	30	40
ROOF AREAS	10	30	40
BALCONIES	10	60	70
STAIRS	10	40	50
GUARDS & RAILINGS -- --			200

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Revisions	Date	Symbol	Description
		△	

Client Name:
John Hawkins
59 Madison Drive
Montauk, NY 11954

Project Title:
THE HAWKINS
FAMILY MONTAUK
HOUSE
59 MADISON DRIVE
MONTAUK, NY
Second Story Addition
and
Existing Deck Alteration

Bldg. Dept. use:

Seal:



Drawing Title:
**GENERAL
CONDITIONS
& NOTES**

Scale: As Noted
Date: JULY 2019
Drawn By: DSK
Checked By: DSK
Project #: 02-1709

Sheet Number:

G.01.0

Sheet No. 2 of 12
BD APP#

Revisions		
Date	Symbol	Description
		

Project Title:
**THE HAWKINS
FAMILY MONTAUK
HOUSE
59 MADISON DRIVE
MONTAUK, NY
Second Story Addition
and
Existing Deck Alteration**

ldg. Dept. use:



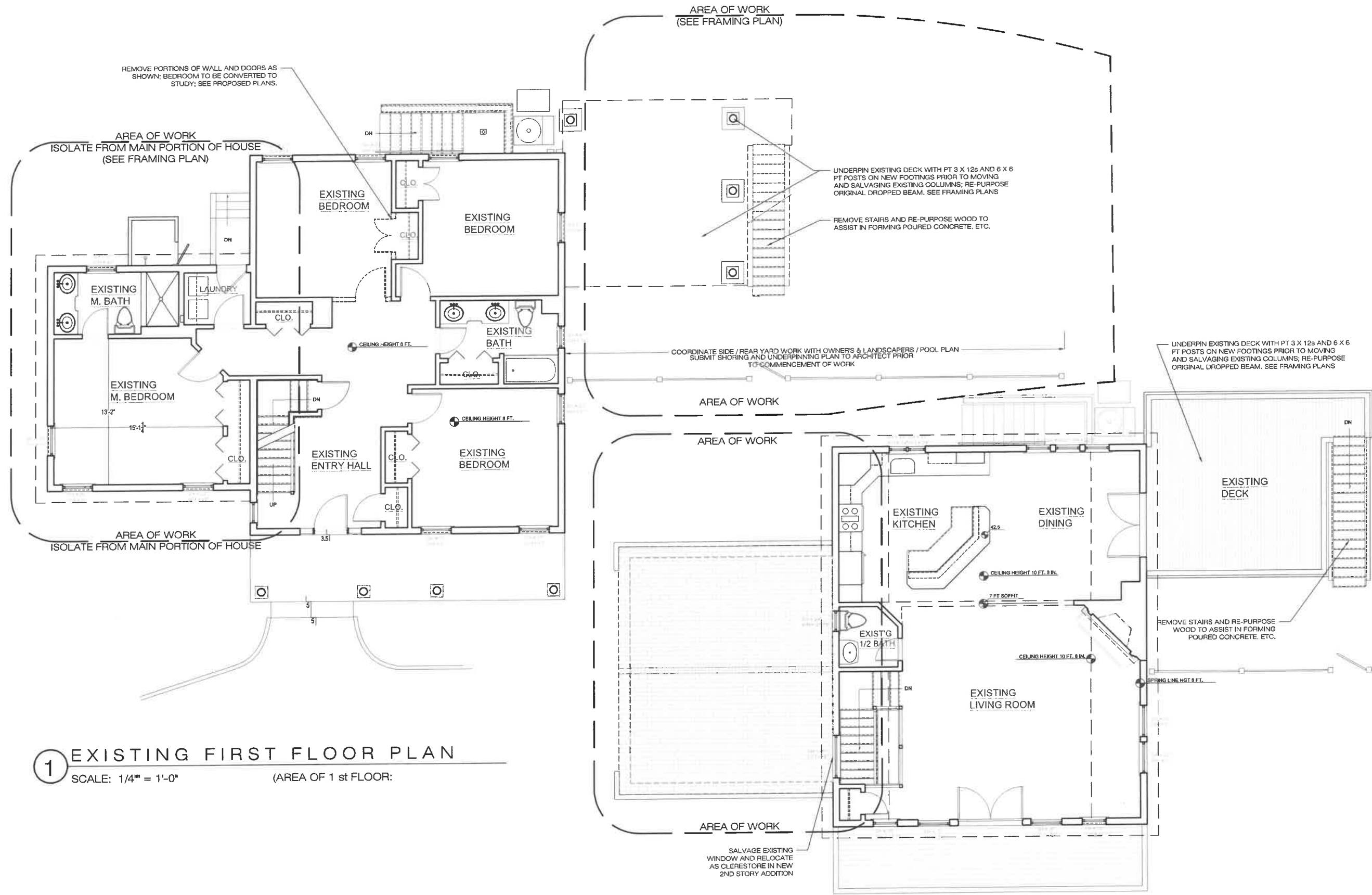
Drawing Title:

**EXISTING
PLANS**

Scale:	VARIABLE
Date:	JULY 2019
Drawn By:	DSK
Checked By:	DSK
Project #:	02-1709
Sheet Number:	

A.01.0

Sheet No. 3 of 12
D APP.#



1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" (AREA OF 1st FLOOR:

2 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

**BUILDING
DEPARTMENT
SUBMISSION**

Revisions		
Date	Symbol	Description
	△	

Client Name:
John Hawkins
59 Madison Drive
Montauk, NY 11954

Project Title:
**THE HAWKINS
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59 MADISON DRIVE
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and
Existing Deck Alteration

Bldg. Dept. use:



Drawing Title:
**EXISTING
BASEMENT
& ROOF PLAN**

Scale: 1/4" = 1'-0"
Date: JULY 2019
Drawn By: DSK
Checked By: DSK
Project #: 02-1709
Sheet Number:

A.02.0

Sheet No. 4 of 12
BD APP.#

REMOVE GABLE ROOF; SAFEGUARD EXISTING
STRUCTURE THROUGHOUT CONSTRUCTION
PROCEDURES

EXISTING
DECK

DN

2 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"

CLD.

UP

1 EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0"

**BUILDING
DEPARTMENT
SUBMISSION**

Revisions	Date	Symbol	Description
		△	

Client Name:
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59 Madison Drive
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MONTAUK, NY
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and
Existing Deck Alteration

Bldg. Dept. use:



Drawing Title:
**EXISTING
ELEVATIONS**

Scale: 1/4" = 1'-0"
Date: JULY 2019
Drawn By: DSK
Checked By: DSK
Project #: 02-1709
Sheet Number:

A.03.0
Sheet No. 5 of 12
BD APP.#



1 EXISTING FRONT (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"

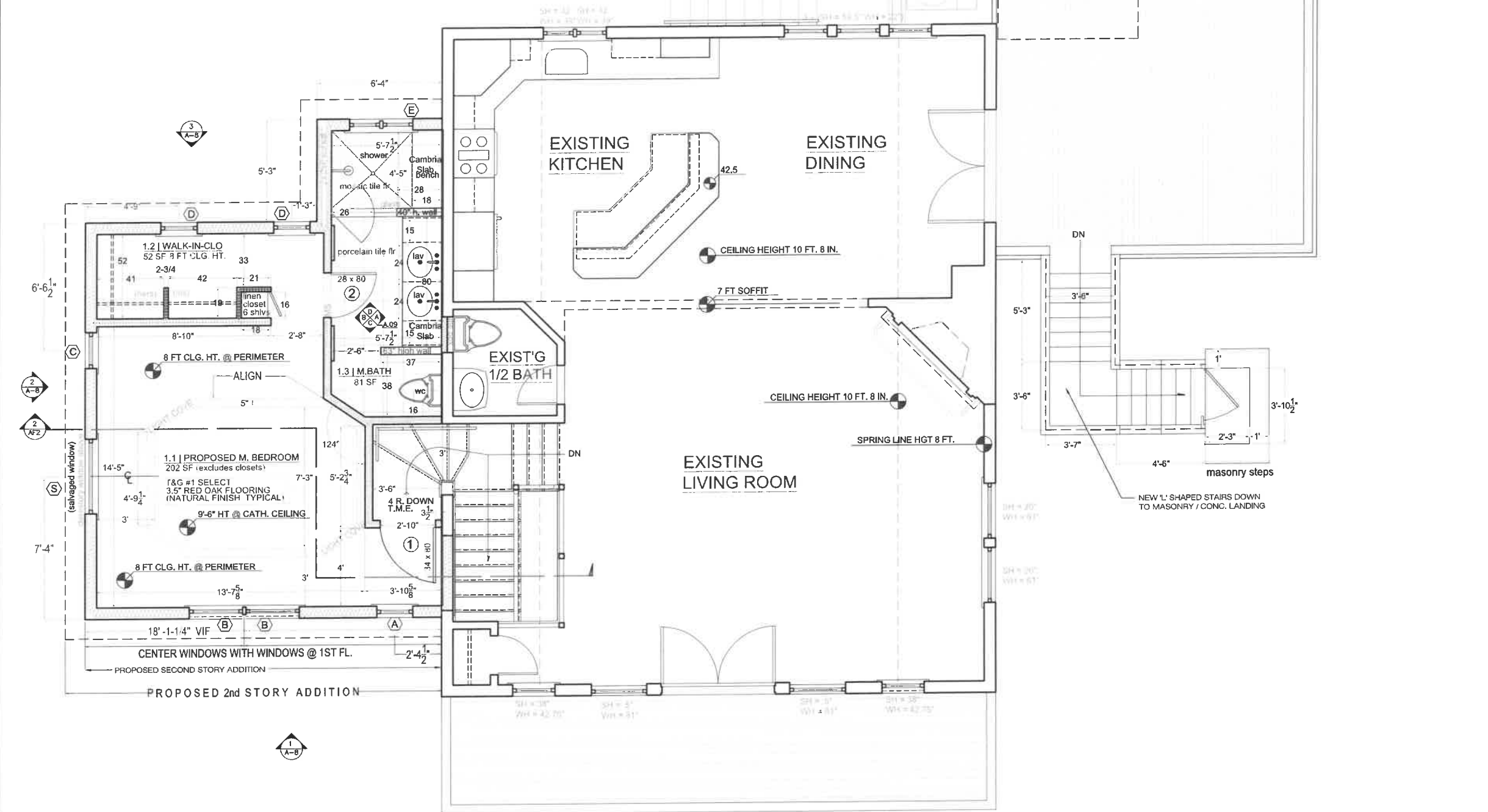


2 EXISTING SIDE (LEFT / WEST) ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING REAR (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"

LIGHT AND VENTILATION CALCULATIONS 2nd FLOOR						
ROOM	FLOOR AREA (SQ. FEET)	LIGHT (8% REQ.)	LIGHT (PROVIDED)	VENTILATION (4% REQ.)	VENTILATION (PROVIDED)	COMPLIANCE
PROPOSED M. BEDROOM	202 sf	16 sf	50 sf	8 sf	21 sf	yes

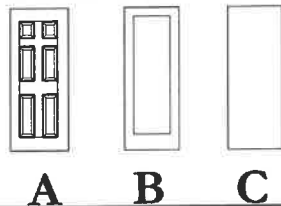


1 PROPOSED SECOND FLOOR PLAN
SCALE: 3/8" = 1'-0"

2ND FLOOR LOC	NO.	DOOR SCHEDULE		TYPE	THK.	HAND	MATERIAL / FINISH	GLASS	MANUF.	HARDWARE / TYPE	REMARKS
		SIZE									
INT	01	2'-10" x 6'-8"		A	1-3/8"	LEFT	MDF/ PRIME & PAINTEDx3			PRIVACY / LEVERS	SOLID CORE -
INT	02	2'-4" x 6'-8"		B	1-3/8"	LEFT	MDF/ PRIME & PAINTEDx3				SOLID CORE -
INT	03	2'-2" x 6'-8"		C		LEFT	3/8" TEMP. GL. STARFIRE	YES			3/8" TEMP. GL. STARFIRE / SEE BATH DWGS

NOTES: ALL DOOR SHALL BE SOLID CORE PAINT GRADE MDF AND SHALL HAVE A \$75 DOLLAR ALLOWANCE FOR HARDWARE. HINGES: SQUARE BUTT BY YVES. HANDLE SETS: SHLAGE DOOR HARDWARE TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR; NEW INTERIOR DOOR TRIM SHALL MATCH EXISTING TRIM IN THE HOUSE TO REMAIN. PRIME AND PAINT AS DIRECTED BY OWNER.

PLEASE NOTE THAT ALL DOOR TYPES COME IN DIFFERENT SIZES - SEE SCHEDULE AND VIF ALL CONDITIONS



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Revisions		
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59 Madison Drive
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59 MADISON DRIVE
MONTAUK, NY
Second Story Addition
and
Existing Deck Alteration

Bldg. Dept. use:



Drawing Title:
**Proposed
Second Floor
Plan**

Scale: 3/8" = 1'-0"
Date: JULY 2019
Drawn By: DSK
Checked By: DSK
Project #: 02-1709
Sheet Number:

A.04.0
Sheet No. 6 of 12
BD APP.#

**BUILDING
DEPARTMENT
SUBMISSION**

Revisions		
Date	Symbol	Description
	△	

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John Hawkins
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Bldg. Dept. use:

Seal:



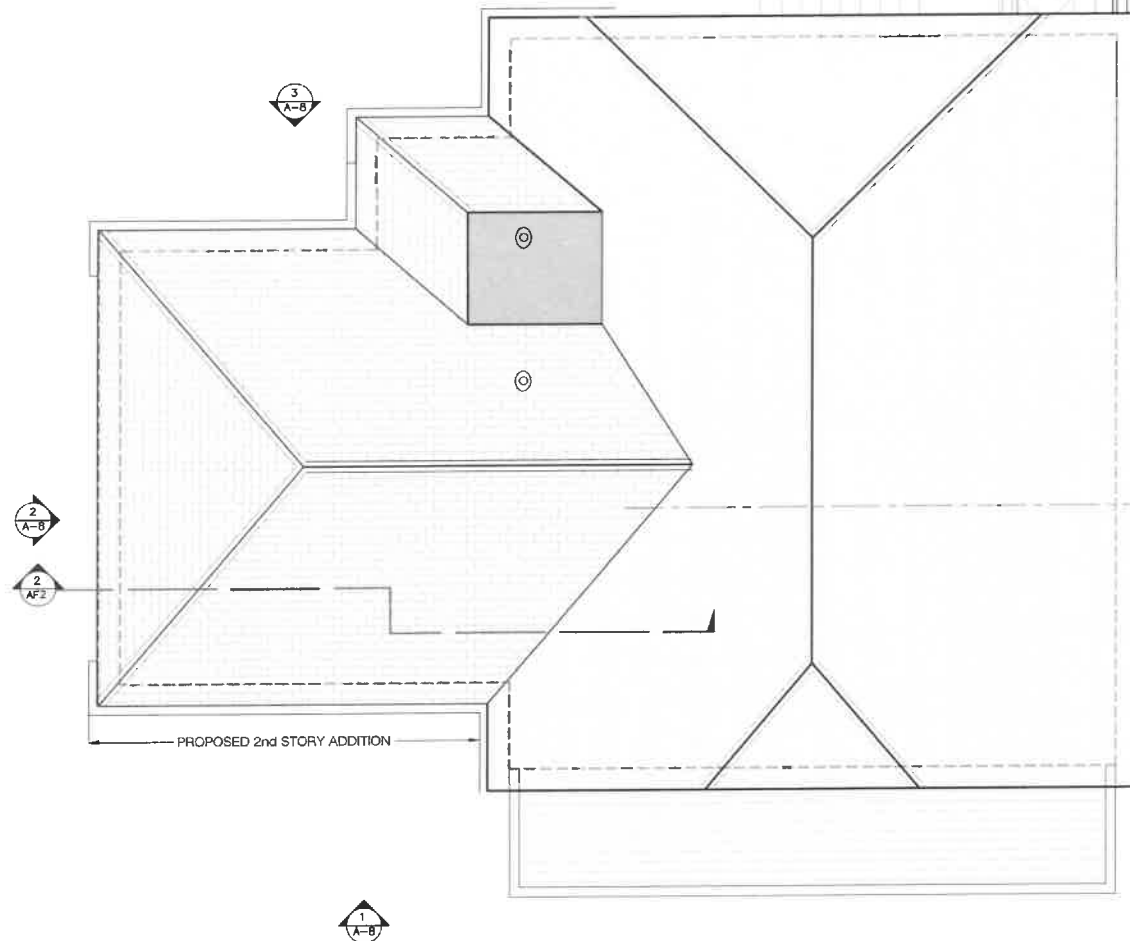
Drawing Title:

**Proposed Roof
& First Floor
Plans**

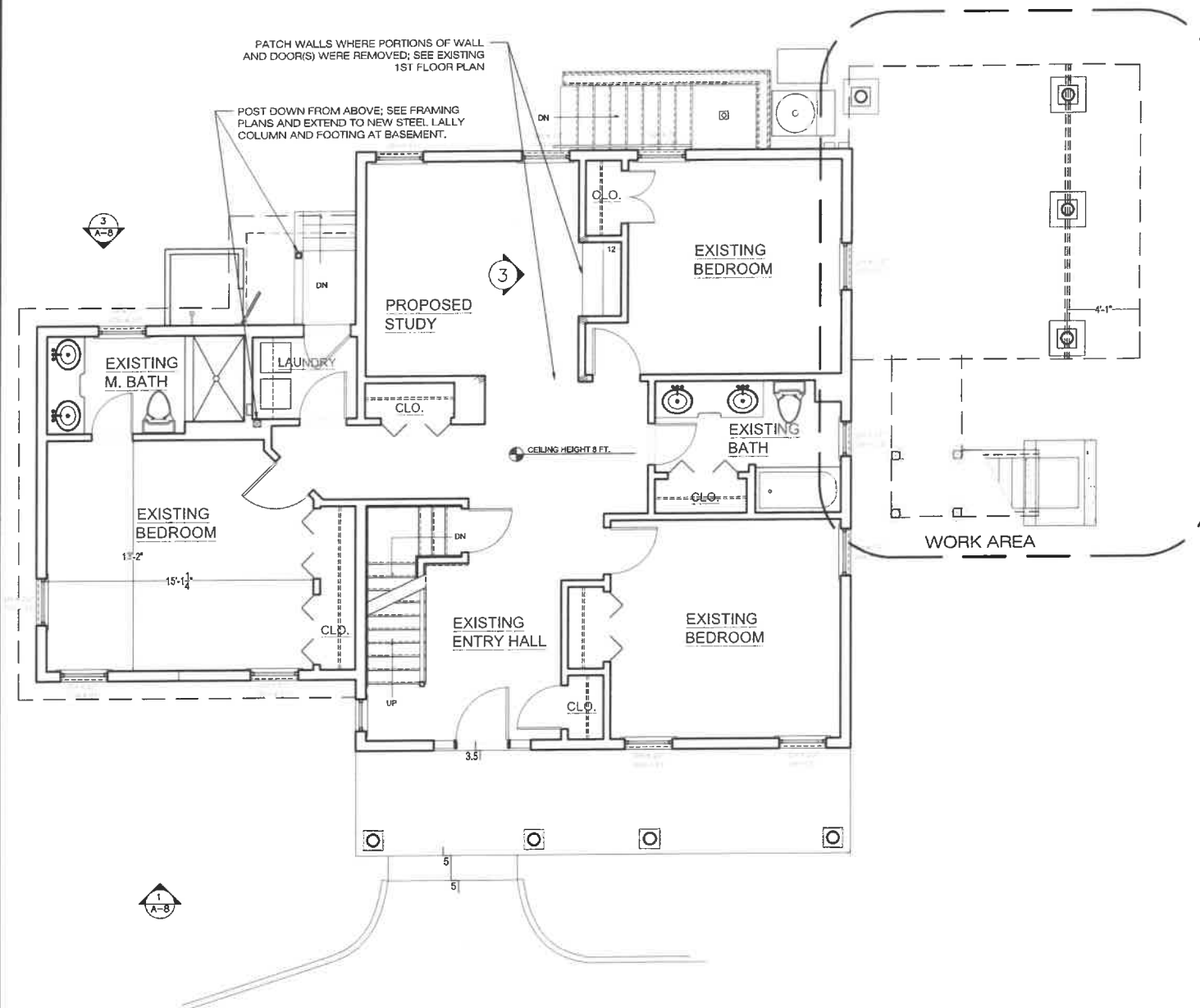
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Date: JULY 2019
Drawn By: DSK
Checked By: DSK
Project #: 02-1709
Sheet Number:

A.05.0

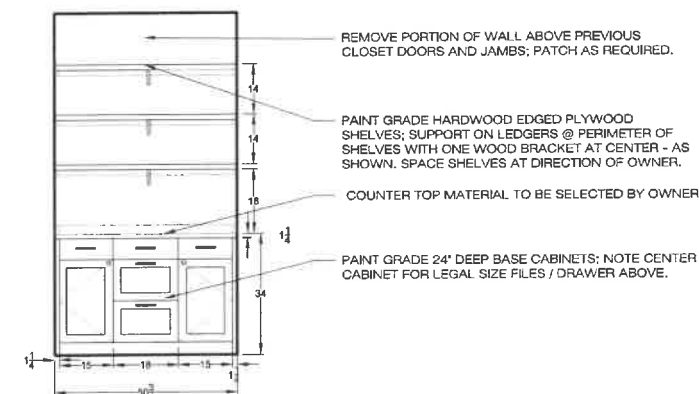
Sheet No. 7 of 12
BD APP.#



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 DETAIL ELEV. SHELVES & FILES @ STUDY
SCALE: 1/2" = 1'-0"

**BUILDING
DEPARTMENT
SUBMISSION**

Revisions		
Date	Symbol	Description
	△	

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59 Madison Drive
Montauk, NY 11954**

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MONTAUK, NY
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and
Existing Deck Alteration**

Bldg. Dept. use:



Drawing Title:
**PROPOSED
ELEVATIONS
& WIN. SCHED**

Scale: 1/4" = 1'-0"
Date: JULY 2019
Drawn By: DSK
Checked By: DSK
Project #: 02-1709
Sheet Number:

A.06.0

Sheet No. 8 of 12
BD APP.#



1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

CONTRACTOR / SUPPLIER SHALL VERIFY IN THE FIELD ALL PROPOSED WINDOWS PRIOR TO ORDERING IN ORDER TO CONFIRM ROUGH OPENINGS
WINDOWS TO BE COORDINATED W/ THE ARCHITECT, CONTRACTOR & LOCAL ANDERSEN DISTRIBUTOR.

WIN #	QTY	TYPE	OPERABLE	LITE CONFIG	GLASS TYPE	SERIES	MODEL	MINIMUM ROUGH OPENING	UNIT SIZE	MANUFACTURER	EX. COLOR	INTERIOR FIN.	HOWR STYLE / COLOR	SILL HEIGHT	NOTES
(A)	1	SPECIAL OCTAGON	NO	4 (IF POSS)	LOWe argon	OC20	400 series	R.O.	2'-0-1/2" x 2'-0-1/2"	ANDERSEN	WHITE	WHITE	Contemporary Folding Lock & Keeper / WHITE	52"	
(B)	2	COTTAGE D. H.	YES	8 OVER 12	LOWe argon	TW3456C	400 series	R.O.	3'-5-5/8" x 5'-8-7/8"	ANDERSEN	WHITE	WHITE	Contemporary Folding Lock & Keeper / WHITE	13"	PROVIDE TruScene insect screens - WH frames
(C)	1	CSMT	YES	10 LITES	LOWe argon	C16	400 series	R.O.	2'-0-1/8" x 4'-4-13/16"	ANDERSEN	WHITE	WHITE	Contemporary Folding Lock & Keeper / WHITE	13"	MULL WINDOWS TOGETHER - CENTER PAIR W/ WIN @ 1ST FL.
(D)	2	AWNING	YES	4 LITES	LOWe argon	C12	400 series	R.O.	2'-0-5/8" x 2'-0-5/8"	ANDERSEN	WHITE	WHITE	Contemporary Folding Lock & Keeper / WHITE	57"	PROVIDE TruScene insect screens - WH frames
(E)	1	CSMT	YES	6 LITES	LOWe argon	1936-2	1936 series	R.O.	3'-5-1/2" x 3'-5-1/2"	ANDERSEN	WHITE	WHITE	Contemporary Folding Lock & Keeper / WHITE	41"	PROVIDE TruScene insect screens - WH frames
(S)	1	SALVAGE TRANSOM WINDOW	NO	EXISTING TRANSOM WIN. RELOCATE				UNIT SIZE	3'-6" x 3'-6"					64"	THIS UNIT COMES AS A PAIR - FIBERGLAS - SHOWER LOCATION



3 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST (LEFT SIDE) ELEV.
SCALE: 1/4" = 1'-0"

BUILDING
DEPARTMENT
SUBMISSION

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Date	Symbol	Description
	△	

Client Name:
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59 Madison Drive
Montauk, NY 11954

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HOUSE**
59 MADISON DRIVE
MONTAUK, NY
Second Story Addition
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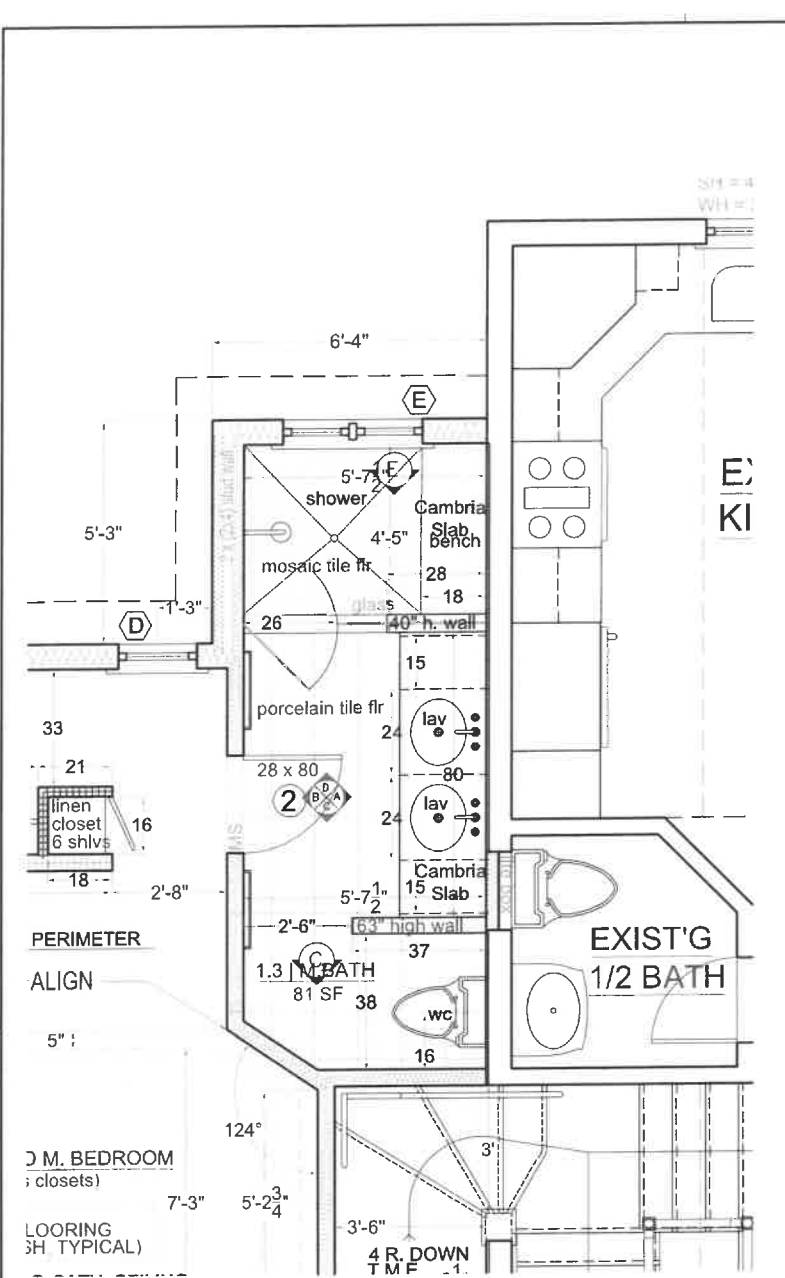
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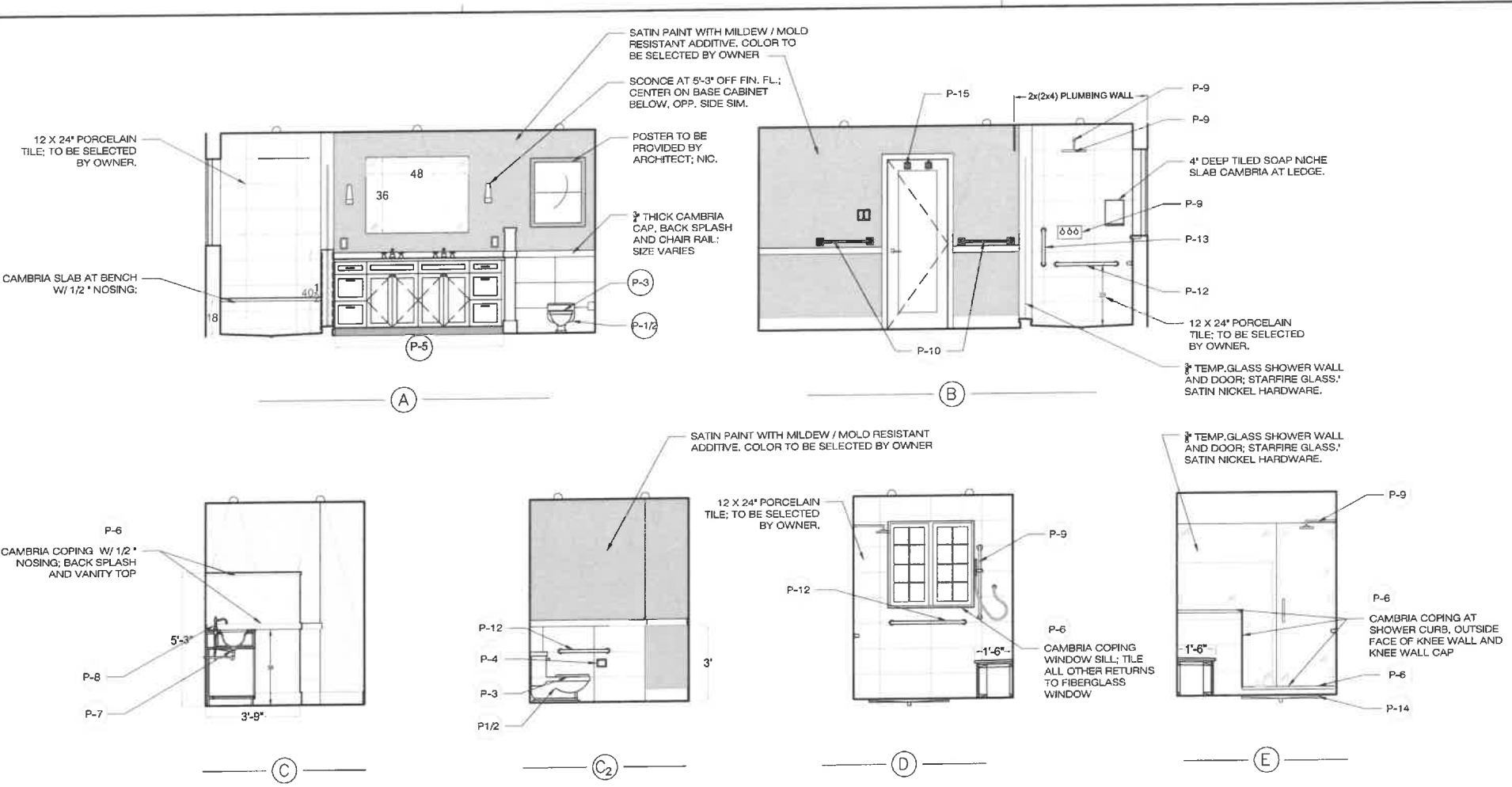
Drawing Title:
**DETAILED MASTER
BATH PLAN AND
ELEVATIONS -
PLUMBING
SCHD. & NOTES**
Scale: As Noted
Date: JULY 2019
Drawn By: DSK
Checked By: DSK
Project #: 02-1709
Sheet Number:

A.07.0

Sheet No. 9 of 12
BD APP.#



1 PROPOSED DETAIL PART PLAN BATH
SCALE: 1/2" = 1'-0"



2 PROPOSED MASTER BATH DETAIL ELEVATIONS
SCALE: 3/8" = 1'-0"

- MISC. PLUMBING NOTES:
- ALL PLUMBING LINES ARE TO BE INSULATED W/ 1-1/2" THICK MINERAL FIBER INSULATION OR MATCH EXISTING IF GREATER, BOTH HOT & COLD, R-3 MIN.
 - ALL PLUMBING BRANCH LINES (HOT AND COLD WATER, WASTE AND VENT) MUST BE REPLACED TO THE RISERS. ACCESSIBLE FULL PORT BALL VALVES, CHECK VALVES AND WATER HAMMER ARRESTERS MUST BE PROVIDED FOR ALL HOT AND COLD WATER BRANCH LINES. FIXTURE PIPING BETWEEN SHUT-OFF VALVE END AND THE FAUCET OR APPLIANCE TO BE COPPER TUBING WITH FLARED ENDS AND BRASS BUSHINGS, OR BRASS COMPRESSION FITTINGS. NO PLASTIC, RUBBER OR BRAIDED STAINLESS STEEL.
 - THE SHOWER SHALL BE INSTALLED WITH A LEAD PAN.
 - ALL LAVATORIES SHALL HAVE AN OVERFLOW.
 - AVOID USE OF DISSIMILAR METALS. IF USED, EMPLOY DI-ELECTRIC FITTINGS.
 - SHOWER FAUCETS SHALL BE ANTI-SCALD.
 - PLUMBER MUST CHECK EXISTING WASTE AND VENT LINES TO BE FREE OF OBSTRUCTION.

PLUMBING FIXTURES AND TOILET ACCESSORIES SCHEDULE

SYMBOL	TYPE	QTY	MANUFACTURER	CAT. NO.	FINISH/COLOR	REMARKS
P-1	TOILET TANK	1	KOHLER	K4468-0	WHITE	WELLWORTH STYLE TOILET TANK W/ K9379-BN WELLWORTH HIGHLINE TRIP LEVER
P-2	TOILET BOWL	1	KOHLER	K4199-0	WHITE	HIGHLINE COMFORT HEIGHT ELONGATED BOWL
P-3	TOIL. SEAT & LID	1	KOHLER	K4636-0	WHITE	GRIP TIGHT CACHET Q3 TOILET SEAT
P-4	TOIL. PAPER HOLDER	1	SIGNATURE HDWR	SKU: 916726	BRUSHED NICKEL	ALBURY COLLECTION BRUSHED NICKEL
P-5	SINK VANITY CABS	4	SEE PLANS	VARIES	WHITE	2 X 15" 3-DRAWER BASE + 2 X 24" SINK BASE + 2 END BASE FILLERS - 1.5" / .75"
P-6	VANITY TOP/BK SPLASH	1	CAMBRIA	WHITECLIFF	3 Centimeters	VANITY TOP - PROVIDE MATCHING 3" X 2 CM BACK SPLASH, SHOWER BURB, KNEE WALL CAPS, OUTSIDE EDGE OF SHOWER KNEEWAY, BASEBOARDS, ETC.
P-7	UNDER MOUNT SINK	1	FAIRMONT DESIGNS	FS200WH	WHITE CERAMIC	WHITE CERAMIC UNDER HUNG SINK
P-8	SINK FAUCET	1	SIGNATURE HDWR	SKU: 931724	BRUSHED NICKEL	BAREVA: WIDESPREAD BATHROOM SINK FAUCET
P-9	SHOWER SYSTEM	1	SIGNATURE HDWR	SKU: 925942	BRUSHED NICKEL	TOSCA THERMOSTATIC SHOWER SYSTEM : 1-866-855-2284 COMES W/ RAINFALL SHOWER & HANDHELD & SHOWER HEAD PROJ. ARM
P-10	TOWEL BAR 24"	2	SIGNATURE HDWR	SKU: 921723	BRUSHED NICKEL	TOWEL BAR (2 REQUIRED)
P-11	TOWEL BAR 18"	1	SIGNATURE HDWR	SKU: 921723	BRUSHED NICKEL	TOWEL BAR
P-12	GRAB BAR 30"	3	ARMOND	SKU: 940886	BRUSHED NICKEL	SOLD BY SIGNATURE HDWR 1-866-855-2284
P-13	GRAB BAR 18"	1	ARMOND	SKU: 940886	BRUSHED NICKEL	SOLD BY SIGNATURE HDWR 1-866-855-2284
P-14	LINEAR SHOWER DRAIN	1	SIGNATURE HDWR	SKU: 927530	BRUSHED STAINLESS	COHEN LINEAR SHOWER DRAIN: 36" - PURCHASE WITH DRAIN FLANGE AND COUPLING
P-15	ROBE HOOK	2	FRESCA OTTIMO		BRUSHED NICKEL	HOZZ.COM

PLUMBING FIXTURE CONNECTION SCHEDULE								
FIXTURE TYPE	FIXTURE SYMBOL	QUANT	CONNECTION SIZE					REMARKS
			TRAP	SOIL OR WASTE	VENT	C.W.	H.W.	
WATER CLOSET	P-2	1	INTERGRAL	4"	2"	1/2"	-	
LAVATORY	P-8	2	1 1/4" x 1 1/2"	1 1/2"	1 1/2"	1/2"	1/2"	
SHOWER PAN	P-7	1	2"	2"	1 1/2"	3/4" EA	3/4" EA	

SEE SALVAGED WATER CLOSET AND VANITY FROM OLD BATH FOR REUSE AT NEW BASEMENT 1/2 BATH

**BUILDING
DEPARTMENT
SUBMISSION**

Revisions
Date Symbol Description

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59 Madison Drive
Montauk, NY 11954

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HOUSE**
59 MADISON DRIVE
MONTAUK, NY
Second Story Addition
and
Existing Deck Alteration

Bldg. Dept. use:



Drawing Title:

**Framing &
Footing Plans
- Wall Section**

Scale: As Noted
Date: JULY 2019

Drawn By: DSK
Checked By: DSK

Project #: 02-1709
Sheet Number:

AF.1.0

Sheet No. 10 of 12
BD APP.#

RAFTERS @ 16" O.C. PER FRAMING PLANS; SHEET
AF-1; SEE SECTION AND ELEVATIONS; VIF

NEW ROOFING (50 YEAR WARRANTY) TO MATCH EXISTING

3/4" CDX EXT. PLYWD. SHEATHING FOLLOWED BY
ORGANIC 30 LB FELT; INSTALL 3 FEET OF WeatherLock® Mat
Self-Sealing Ice & Water Barrier TYP. @ EAVES, RIDGES AND
VALLEYS - NO EXCEPTIONS

1" STYLE WHITE ALUM. 6" GUTTERS; ALL MATCHING
DOWNSPOUTS SHALL CONNECT TO EXISTING STORM WATER SYS.;
SEE ROOF PLAN FOR LOCATION OF NEW GUTTER LAYOUT.

SIMPSON MODEL H2.5AZ Z-MAX HURRICANE TIES, TYP.

1" WHITE ALUM. BUTTON VENTS @ 16" O.C.

MATCH EXISTING ENTABLATURE / CROWN TRIM;
SEE DETAIL SHEET AF-2.

PAINTED HORIZONTAL CEDAR SIDING TO MATCH
EXISTING; ALIGN COURSES WITH EXISTING.

2 X 8 STRUCT. GRADE WD. STUDS @ 16" O.C.

1/2" CDX PLYWOOD SHEATHING (GAP FOR EXPANSION, TYP.)

TYVEK

R-21 MINERAL WOOL BATT INSULATION

PRIMED & PAINTED 5/8" GYPSUM WALL BOARD;
MOISTURE RESISTENT BOARD AT BATHROOM;
INTERIOR 'DUROCK' AT SHOWER, TYP.

3/4" PLYWD. T & G, GROOVED, SCREWED
AND GLUED TO FLOOR JOISTS, TYPICAL

2 X 8 STRUCT. GRADE BOTTOM PLATE

VIF CONDITION AND HEIGHT OF EXISTING
DOUBLE TOP PLATE;

5.5 X 9.5" LVL 2.0e (BLIND) BEYOND

NEW SECOND FLOOR STRUCTURE; ALIGN
WITH EXISTING 2ND FLOOR LEVEL

INSTALL NEW FINISH CEILING; PAINTED 5/8" GYP.
WALL BOARD; PAINT AT DIRECTION OF OWNER.

SEE ADDITIONAL NOTES SHEET AF-2
LONGITUDINAL SECTION

4 LONGITUDINAL SECTION
SCALE: 3/4" = 1'-0" -

CODE COMPLIANCE:

LOAD BEARING CONC. MASONRY SHALL COMPLY WITH ASTM SPECS.

LOADING CRITERIA

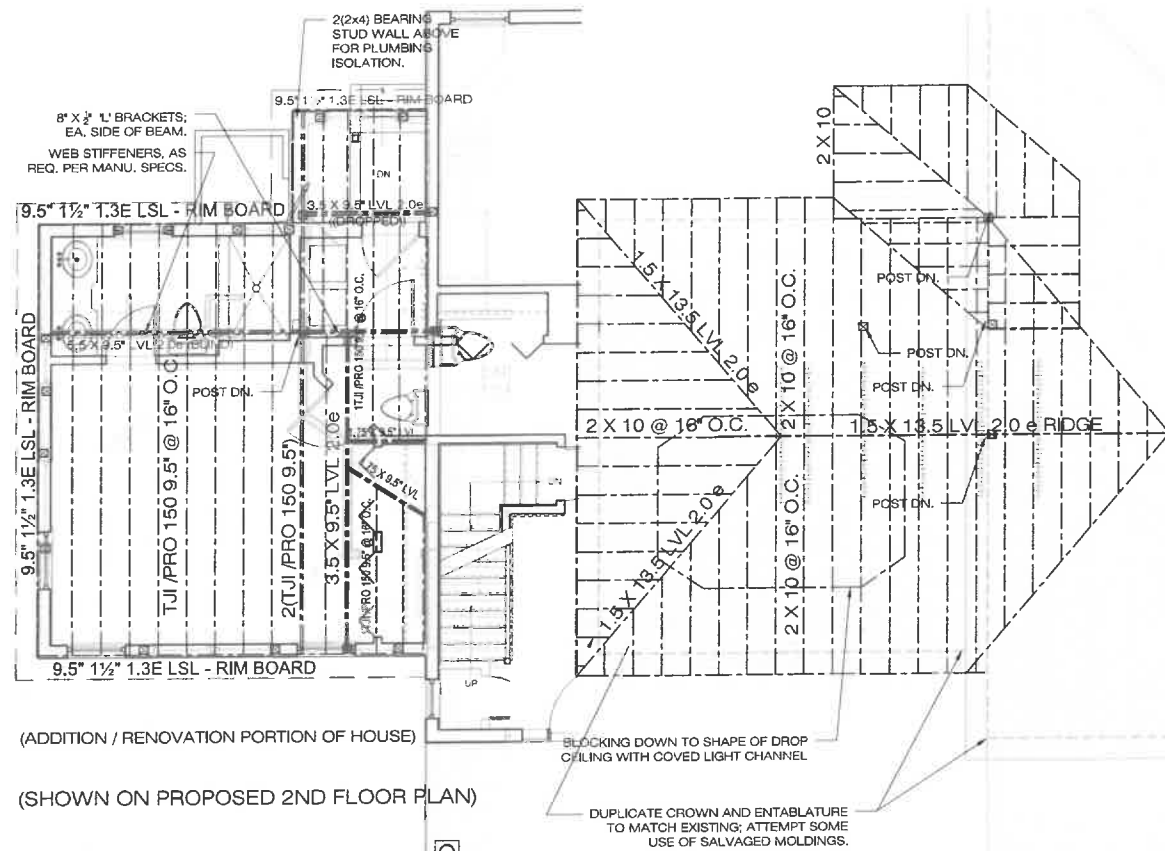
FIRST FLOOR DEAD LOAD = 20 PSF
FIRST FLOOR LIVE LOAD = 40 PSF
ATTIC DEAD LOAD = 10 PSF
ATTIC LIVE LOAD = 30 PSF
ROOF DEAD LOAD = 10 PSF
ROOF SNOW LOAD = 30 PSF
AXIAL LOAD ATTIC TO BASEMENT = 155 PSF
TOTAL LOAD TO GRADE = 195 PSF

C90 (C145 OLD) FOR LOAD BEARING CONCRETE MASONRY WORK
C91 SPECIFICATION FOR MASONRY CEMENT
C109 TEST METHOD FOR MORTARS
C150 FOR PORTLAND CEMENT
C206 FOR HYDRATED LIME
C270 FOR MORTAR
E488 FOR TESTING ANCHORS

REINFORCED CONCRETE TO BE OPERFORMED IN ACCORD WITH ACI 318
ALL STRUCTURAL STEEL PER AISC MANUAL TO BE GRADE A36

SIMPSON STRONG TIE CONNECTION REQ.

1. ALL POST CAPS USE LPC8
2. ALL POST BASES USE ABE66
3. ALL HANGERS IN BLIND HEADERS USE LU210
4. ALL POST TO HEADER CONNECTIONS USE ACR8
5. ALL RAFTER TO WALL PLATE USE H1 SEISMIC
6. ALL RAFTER TO RIDGE USE RR RIDGE CONNECT
7. ALL TOP OF WALL INTERSECTION USE STALSTA
8. ALL EXTERIOR CORNERS USE RTF2
9. ALL HEADER HANGERS USE HH6
10. MISC. STRAP TIES USE T&L 66L, 1212L & 66L
11. ALTERNATIVE USE OF FINGER FRAMERS "FF"
12. ALTERNATIVE USE OF HURRICANE CLIPS "HC"



1 2nd FLR. FRAMING PLAN
SCALE: 1/4" = 1'-0"

2 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0" -

UC3B PARALLAM PLUS PSL 5.25
X 5.25 COLUMNS ON 3500 PSI
CONC. 14" DIA. SONOTUBE FTG
IF ALIGN ABOVE

STONG-TIE POST CONNECTOR
RCPSS5.HDG - FASTEN WITH
4-16D; CAP WITH 3/4 X 6"
CUMARU AT BASE (NOT SHOWN)

3.5 X 3/4" LALLY COLUMN;
SEE DET. SHEET AF-2
30" x 30" x 15" DEEP CONC.
FOOTING; SEE DET. SHEET AF-2..

BASEMENT LEVEL - (NOTE NEW COL. SUPPORT)

EXISTING DECK ABOVE
NEW LOCATION FOR SALVAGED SUPPORT
COLUMNS. UNDERPIN WITH DEAD
SHORING AS REQUIRED

PT 2x12
PT 2x12
PT 2x12
PT 2x8
PT 2x12
PT 2x8
PT 2x12

RIGHT SIDEYARD FTG AND COLUMN PLAN

3 BASEMENT / GROUND FLOOR FTG PLANS
SCALE: 1/4" = 1'-0" -

**BUILDING
DEPARTMENT
SUBMISSION**

Revisions		
Date	Symbol	Description
	△	

Client Name:
John Hawkins
59 Madison Drive
Montauk, NY 11954

Project Title:
**THE HAWKINS
FAMILY MONTAUK
HOUSE
59 MADISON DRIVE
MONTAUK, NY
Second Story Addition
and
Existing Deck Alteration**
Bldg. Dept. use:

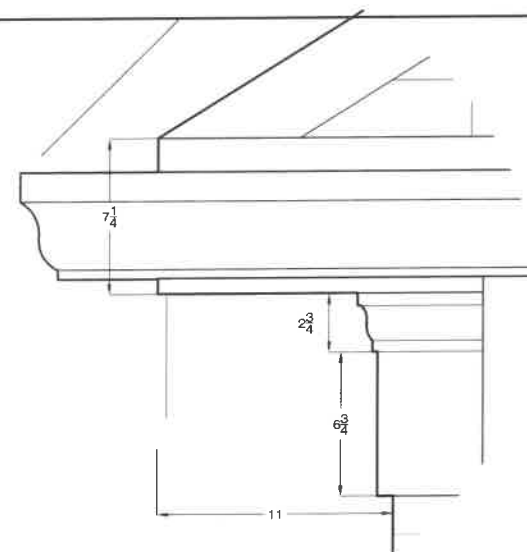


Drawing Title:
**LONGITUDINAL
SECTION &
MISC. DETAILS**

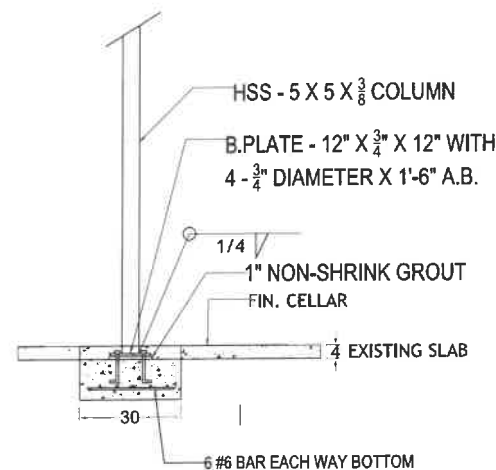
Scale: As Noted
Date: JULY 2019
Drawn By: DSK
Checked By: DSK
Project #: 02-1709
Sheet Number:

AF.2.0

Sheet No. 11 of 12
BD APP.#

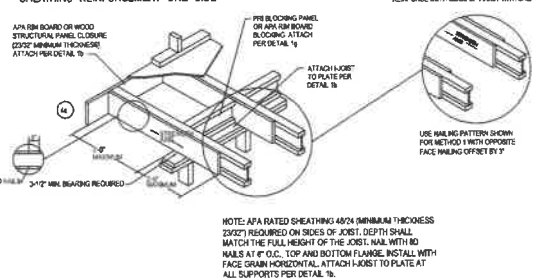


1 DETAIL OF EAVES / ENTABLATURE
SCALE: 3" = 1'-0" -

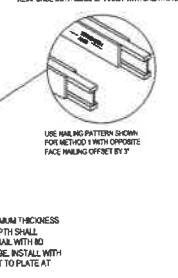


2 STEEL COLUMN DET. @ BSMT
SCALE: 1/2" = 1'-0" -

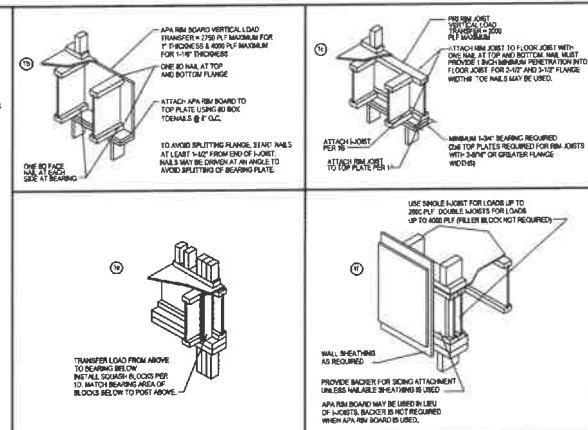
**METHOD 1
SHEATHING REINFORCEMENT ONE SIDE**



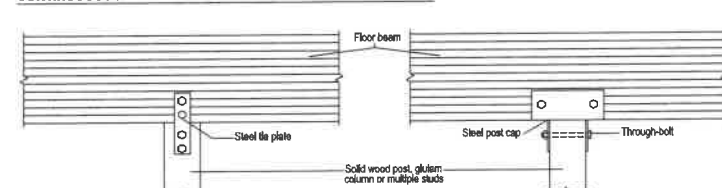
**METHOD 2
SHEATHING REINFORCEMENT TWO SIDES**



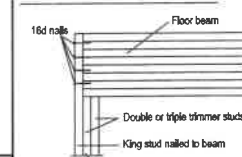
NOTE: APA RATED SHEATHING 48" MINIMUM THICKNESS (3/4") REQUIRED ON SIDES OF JOIST. DEPTH SHALL MATCH THE FULL HEIGHT OF THE JOIST. NAIL WITH 8D NAILS AT 6" O.C. TOP AND BOTTOM FLANGE. INSTALL WITH FACE GRAIN HORIZONTAL. ATTACH JOIST TO PLATE AT ALL SUPPORTS PER DETAIL 1b.



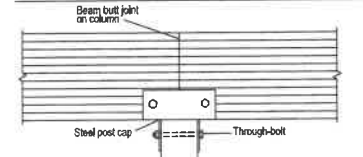
CONTINUOUS FLOOR BEAM OVER INTERMEDIATE WOOD SUPPORTS



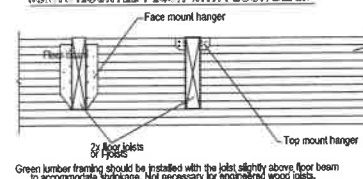
BEAM AT END WALL BEARING



BEAM BUTTING OVER INTERMEDIATE WOOD SUPPORT



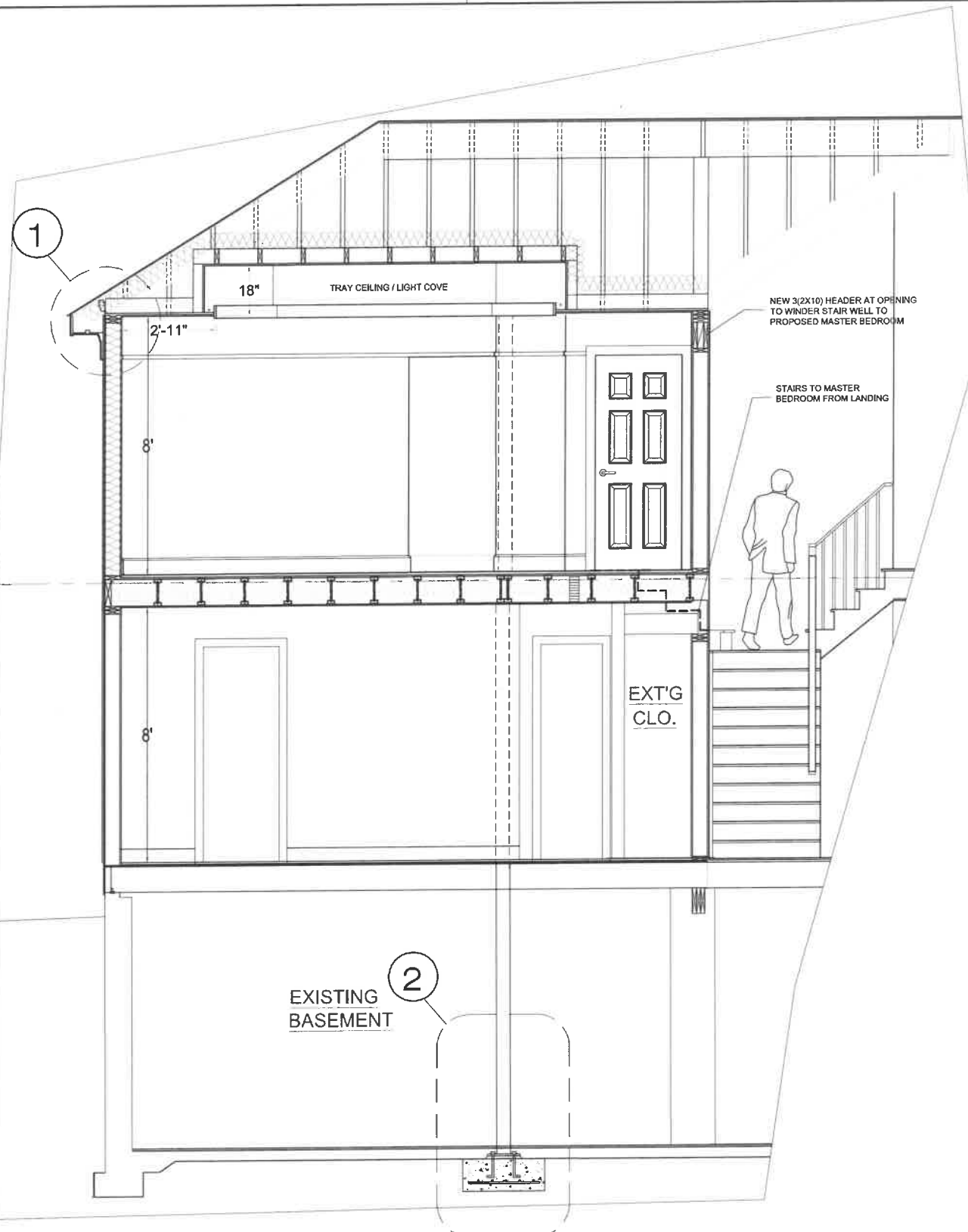
JOIST MOUNTED FLUSH WITH FLOOR BEAM



4 MISC. DET.
NTS

EXISTING
BASEMENT

3 LONGITUDINAL SECTION
SCALE: 1/2" = 1'-0" -



**BUILDING
DEPARTMENT
SUBMISSION**

Revisions	Date	Symbol	Description
		△	

Client Name:
John Hawkins
59 Madison Drive
Montauk, NY 11954

Project Title:
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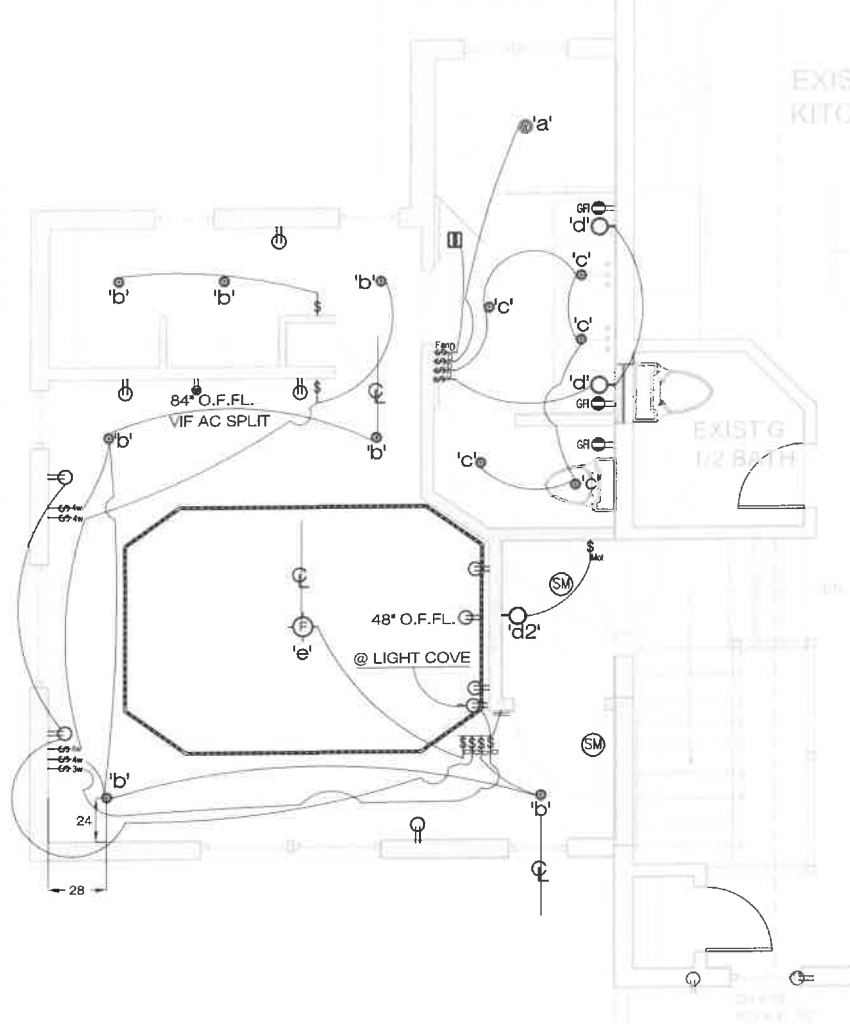


Drawing Title:
**Electrical
Layout Plans
& Schedule**

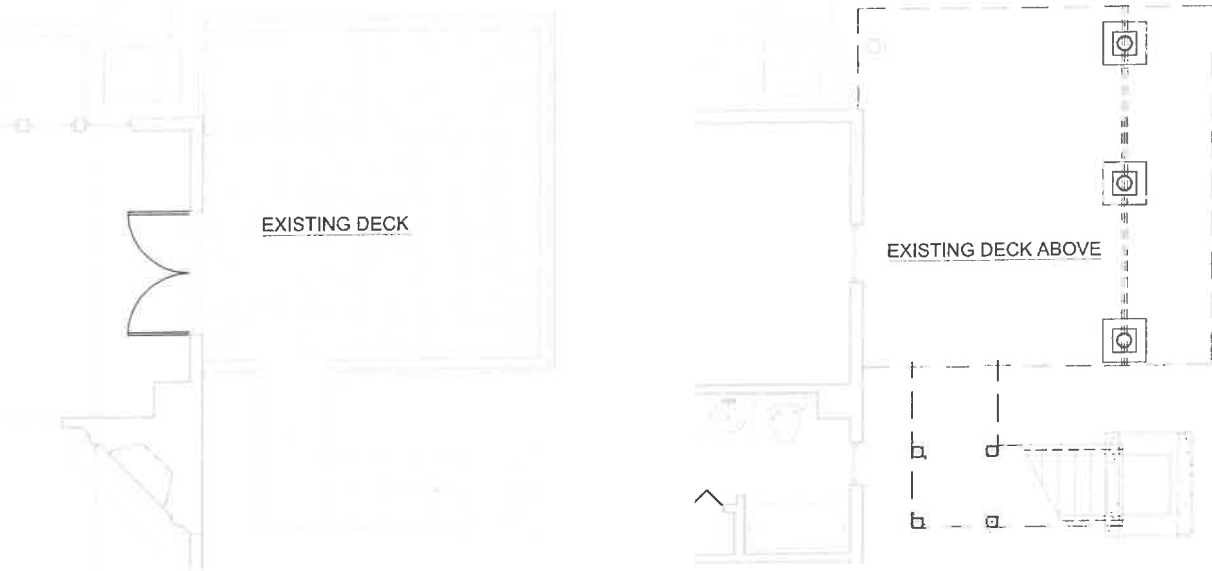
Scale: As Noted
Date: JULY 2019
Drawn By: DSK
Checked By: DSK
Project #: 02-1709

Sheet Number:
E.1.0

Sheet No. 12 of 12
BD APP.#



1 2nd FL ELECTRICAL LAYOUT PLAN
SCALE: 3/8" = 1'-0" - (ADDITION / RENOVATION PORTION OF HOUSE)



2 ELECTRICAL LAYOUT PLAN @ DECK & BELOW DECK
SCALE: 1/4" = 1'-0" - (ADDITION / RENOVATION PORTION OF HOUSE)

LIGHT FIXTURE SCHEDULE				
SYMBOL	QTY	SPECIFICATION	TRIM OR TRACK	LAMP TYPE / REMARKS
'a'	1 or 2	ELITE LIGHTING: 4" INC. MINI RECESSED HOUSING IC NEW CONSTR. MED. BASE BULB (PAR20) B4IC-AT	ALS1-462 - FOR IC-AC HOUSINGS: FLOOR WET LOCATIONS	MED. BASE BULB (PAR20), 2700K, 38d BEAM ANGLE
'b'	7	ELITE LIGHTING: 4" INC. MINI RECESSED HOUSING IC NEW CONSTR. MED. BASE BULB (PAR20) B4IC-AT	4" PAR20 GIMBAL TRIM WITH 30 DEGREE TILT ALS1-461 - WHITE	MED. BASE BULB (PAR20), 2700K, 38d BEAM ANGLE
'c'	5	ELITE LIGHTING: 4" INC. MINI RECESSED HOUSING IC NEW CONSTR. MED. BASE BULB (PAR20) B4IC-AT	4" STEPPED BAFFLE TRIM WITH DIE-CAST RING - PAR 20 ALS1-401 - SATIN NICKEL	MED. BASE BULB (PAR20), 2700K, 38d BEAM ANGLE
'd'	3	WALL MOUNTED SCONCE	OWNER TO PROVIDE; CONTRACTOR INSTALL; SEE BATH ELEV	'd' = 2 X LED - 100 W EQUIVALENT E27 DIM. 'd2' = 1 X LED - 60 W EQUIVALENT E27 DIM.
'e'	1	CEILING MOUNTED FIXTURE OR FAN	OWNER TO PROVIDE; CONTRACTOR INSTALL;	BY OWNER, INSTALLED BY ELECT. CONTRACTOR
'f'	35LF	LED ROPE LIGHT FOR COVE AT CATHEDRAL CEILING.		2700 - 3000 K - DIMMABLE
Ⓜ	1	BATHROOM CEILING VENT /FAN Panasonic FV-08-11VF5 WhisperFitEZ Fan		VENT TO EXTERIOR

ELECTRICAL SPECIFICATIONS

- SECURE AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY GOVERNMENT AGENCIES.
- PRIOR TO SUBMITTING A BID, VISIT THE JOB SITE AND BECOME FAMILIAR WITH THE CONDITIONS AFFECTING THE ELECTRICAL INSTALLATIONS.
- ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND SHALL BE PERFORMED BY INDIVIDUALS SKILLED IN THE TRADE. WORKMANSHIP SHALL BE FIRST CLASS. THE ELECTRICAL SYSTEMS SHALL BE COMPLETE IN ALL
- MATERIALS SHALL BE NEW, BEAR THE U.L. STAMP AND MANUFACTURERS IDENTIFICATION.
- VERIFY THAT ALL EXISTING CONDITIONS ARE AS INDICATED OR NOTED ON THE DRAWINGS. ANY DISCREPANCIES OBSERVED IN THE FIELD BETWEEN

ACTUAL FIELD CONDITIONS AND THAT INDICTED OR NOTED ON THE DRAWINGS, SHALL BE GIVEN TO THE OWNER IN WRITING.

6. NA

- INSTALLATION SHALL BE INSTALLED NEAT, PLUMB, STRAIGHT AND LEVEL TO THE BUILDING AND TO OTHER SYSTEM COMPONENTS.
- PROVIDE A ONE (1) YEAR GUARANTEE COVERING THE ELECTRICAL INSTALLATION FOR DEFECTIVE MATERIALS AND WORKMANSHIP.
- REMOVE ALL DEBRIS FROM BUILDING ON A DAILY BASIS TO INSURE SAFETY OF PERSONNEL.
- RACEWAYS TO BE AS FOLLOWS:
EXPOSED EXTERIOR: RIGID GALVANIZED STEEL
UNDERGROUND: SCHEDULE 40 PVC
EXPOSED INTERIOR: NM CABLE
CONCEALED WIRING: NM CABLE

- WIRE SHALL BE COPPER, STRANDED, WITH TYPE THHN - THWN THERMOPLASTIC 900C INSULATION.
- OUTLET BOXES SHALL BE STAMPED GALVANIZED STEEL OR NON-METALLIC OF THE TYPE AND SIZE FOR THE LOCATION AND USE INTENDED.
- WIRING DEVICES SHALL BE AS FOLLOWS:
SWITCHES: LEVITON DECORA - WHITE
RECEPTACLES: LEVITON-5361-1
GROUND FAULT RECEPTACLES: LEVITON DECORA SMART LOCK - 20 AMP
- LIGHTING FIXTURES SHALL BE AS SCHEDULED AND SHALL BE PROVIDED WITH PROPER TYPE MOUNTING HARDWARE.
- COORDINATE WITH HVAC CONTRACTOR FOR AC EQUIPMENT AND OTHER REQUIREMENTS THEREOF. HVAC FILED SEPARATELY BY SUB-CONTRACTOR

PURCHASE ELECTRICAL HOUSINGS, TRIMS, TRACK LIGHTING FROM - LOCAL ELITE LIGHTING DISTRIBUTOR:

- 4" INCANDESCENT MINIATURE RECESSED HOUSING IC NEW CONSTRUCTION MEDIUM BASE BULB (PAR20) ALS1-4IC-AT -
- 4" LINE VOLTAGE NEW CONSTRUCTION NON-IC HOUSING GU10 BULB - ALS4-4-50-120-AT
- NON IC-AT HOUSING TRIM:
- RECESSED LIGHTS: 4" TRIM ADJUSTABLE GIMBAL 40 DEGREE TILT FOR USE WITH LINE VOLTAGE OR LOW VOLTAGE HOUSINGS ALS1-1461
- 4" PAR20 GIMBAL TRIM WITH 30 DEGREE TILT
- ALS1-461 FOR IC-AT HOUSINGS: 4" STEPPED BAFFLE TRIM WITH DIE-CAST RING - PAR 20
- ALS1-401 - FOR IC-AT HOUSINGS: 4" STEPPED BAFFLE TRIM WITH DIE-CAST RING - PAR 20
- ALS1-401 - FOR IC-AC HOUSINGS: SATIN NICKEL 4" TRIM WITH SEMI-FROSTED LENS AND REFLECTOR
- ALS1-462 - FOR IC-AC HOUSINGS: FLOOR WET LOCATIONS
- TRACK LIGHTING - SINGLE CIRCUIT INSULATED SOLID 12-GAUGE COPPER VISUAL POLARITY GROOVE 8" TRACK LIGHTING - SINGLE CIRCUIT INSULATED SOLID 12-GAUGE COPPER VISUAL POLARITY GROOVE 6" TRACK LIGHTING - SINGLE CIRCUIT INSULATED SOLID 12-GAUGE COPPER VISUAL POLARITY GROOVE
- 4" TRACK ACCESSORY: FLOATING CANOPY - SINGLE CIRCUIT WHITE TRACK ACCESSORY: 1 CIRCUIT TRACK LIGHTING LIVE END COVER WHITE TRACK ACCESSORY: SINGLE CIRCUIT MINI CONNECTOR WHITE TRACK ACCESSORY: SINGLE CIRCUIT TRACK END CAP WHITE TRACK LIGHT - LINE VOLTAGE GIMBAL RING MAXIMUM EXTENSION 5 1/2"
- ALS3-T229 (REQ. GU10 BULB)

LEGEND

LIGHT FIXTURES

- SMOKE DETECTOR AT CEILING
SEE SMOKE DETECTOR NOTE #4
- CEILING MOUNTED FAN VENT
- LED RECESSED LIGHT
- LED RECESSED LIGHT / Adj. GIMBAL
- SURFACE MOUNTED FIXTURE
- CHANDELIER FIXTURE
- CEILING MOUNTED FIXTURE
- RECESSED LIGHT WET LOCATION
- LIGHT TRACK / LED TRACK LIGHT
- LED STRIP LIGHT OR ROPE LT
- LED STRIP LIGHT VERTICAL MT.
- WALL MOUNTED FIXTURE
HEX. J-BOX TYP.
- CEILING FAN
- Low Voltage LED Ext. flood light
Ground mounted directional light
- Low Voltage LED Exterior Path light
Ground mounted Path light

OUTLETS

- DUPLEX OUTLET
- QUADPLEX OUTLET
- EXISTING DO
- FLOOR OUTLET
- APPLIANCE OUTLET
- GROUND FAULT OUTLET
- CABLE TV
- TELEPHONE JACK (2-LINE)
- HOUSE PANEL or New SubPanel

SWITCHES

- DIMMER SWITCH (LED)
- SINGLE POLE SWITCH, 3 WAY,
'b' CONTROLLING FIXTURE 'a'
- SINGLE POLE SWITCH, 4 WAY,
'a' CONTROLLING FIXTURE 'b'
- DUPLEX SWITCH
- WALL SWITCH
- CLOSET DOOR SWITCH
- MOTION SENSOR SWITCH
- TIMER SWITCH
- MOTION TIMER SWITCH

NOTE: ALL LED LIGHTS SHALL BE 3000 K